

GENERAL NOTES

- THE PROJECT CONSIST OF TWO STORY RESIDENCE.
- ALL NEW WORK IS TO COMPLY WITH THE FLORIDA RESIDENTIAL BUILDING CODE 2017, 6TH. EDITION AND WITH ALL APPLICABLE CODES AND LOCAL ORDINANCES.
- INFORMATION ON SITE PLAN AND LEGAL DESCRIPTION HAVE BEEN PROVIDED BY THE OWNER / CONTRACTOR AND ASSUMED TO BE CORRECT.
- FOUNDATION SHALL BEAR ON FIRM STABLE COMPACTED SOIL. IF POOR SOIL CONDITIONS ARE FOUND, CONTACT THE OWNER BEFORE PROCEEDING.
- ALL REINFORCING SHALL BE HELD SECURELY IN PLACE WITH STANDARD ACCESSORIES DURING PLACING OF CONCRETE. IF REQUIRED, ADDITIONAL BARS OR STIRRUPS SHALL BE PROVIDED BY THE CONTRACTOR TO FURNISH ADEQUATE SUPPORT.
- THE CONTRACTOR SHALL COORDINATE THE SIZE NUMBER & LOCATION OF ALL ANCHOR BOLTS, INSERTS, WELD PLATES AND OTHER ITEMS TO BE EMBEDDED IN THE CONCRETE AS REQUIRED BY ALL TRADES. THE ACTUAL LENGHT OF THE ANCHOR BOLT REQUIRED SHALL TAKE INTO ACCOUNT THE THICKNESS OF THE ATTACHED PART, THE NUT THICKNESS, ETC.
- THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING NECESSARY TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE STRUCTURE PERMANENTLY AND / OR DURING THE CONSTRUCTION PROCESS AS MAY BE REQUIRED.
- ALL CONDITIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED BY THE GENERAL CONTRACTOR PRIOR TO CONSTRUCTION, DO NOT SCALE THE DRAWINGS. ANY ADJUSTMENTS AND / OR CORRECTIONS SHALL BE MARKED AND BROUGHT TO THE ATTENTIONS OF THE OWNER.
- THE CONTRACTOR SHALL BE SOLELY RESPONSABLE FOR COMPLYING WITH SAFETY PROCEDURES, METHODS AND MEANS OF CONSTRUCTION AND ALL REQUIREMENTS BY APPLICABLE FEDERAL, STATE AND LOCAL LAWS, REGULATIONS AND CODES.
- ALL WOOD EXPOSED TO WEATHER SHALL BE SMOOTH, CLEAR & FREE OF DEFECTS, CHECKING, ETC.
- DOOR HARDWARE IS TO BE FIRST GRADE RESIDENTIAL AS SELECTED OR APPROVED BY OWNER.
- PAINT INTERIOR AND EXTERIOR EXPOSED SURFACES THAT DO NOT RECEIVE PRE-FINISHED MATERIAL (3 COATS) COLOR SELECTED BY OWNER.
- ALL CONNECTORS TO BE SIMPSON UNLESS NOTED OTHERWISE. WITH NEC.

SITE PREPARATION.

THE RESIDENCE AREA SHOULD BE STRIPPED OF TOPSOIL AND ORGANICS. THEN THE STRIPPED BUILDING SUBGRADE SHOULD BE PROOF-ROLLED WITH A HEAVY DRUM-TYPE VIBRATORY COMPACTOR HAVING A MINIMUM STATIC WEIGHT OF 20,000 POUNDS. PROOF-ROLLING OF THE BUILDING AREA, TO 7 FEET BEYOND CONSTRUCTION LINES, SHOULD CONSIST OF AT LEAST 10 COMPLETE COVERAGES BY THE COMPACTION EQUIPMENT. COMPACTION SHOULD CONTINUE UNTIL THE SOIL 1 FOOT BELOW THE COMPACTION SURFACE ATTAINS A DENSITY OF AT LEAST 98 PERCENT OF THE MAXIMUM DRY DENSITY AS INDICATED BY THE MODIFIED PROCTOR COMPACTION TEST (ASTM METHOD D 1557)

EROSION / SEDIMENTATION CONTROL.

CONTRACTOR IS TO PROVIDE EROSION CONTROL / SEDIMENTATION BARRIER (HAY BALES OR SILTATION CURTAIN) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS AND WATERWAYS. IN ADDITION, CONTRACTOR SHALL PLACE STRAW, MULCH OR OTHER SUITABLE MATERIAL ON GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIST SITE. IF, IN THE OPINION OF THE ENGINEER AND / OR LOCAL AUTHORITIES, EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR BY VEHICULAR TRAFFIC, THE CONTRACTOR IS TO REMOVE AND CLEAN SAID EARTH TO THE SATISFACTION OF THE ENGINEER / AND / OR AUTHORITIES.

BUILDING DATA

TWO STORY RESIDENCE

CONSTRUCTION TYPE = VB

STEMWALL FOUNDATION (SLAB ON GRADE)

NOTE

CONCRETE DRIVEWAY & WALKS WILL BE CONSTRUCTED ON TOP OF GRADE WITH NO ROOT DISTURBANCE TO PROTECT ADJACENT TREES.

4 Replacement Trees Required
3 Code Trees Required

LEGAL DESCRIPTION:

LOT 14, BLOCK 13, CRESCENT PARK, ACCORDING TO THE PLAT THERE AS RECORDED IN PLAT BOOK 17, PAGE 20, OF THE PUBLIC RECORDS OF HILLSBOROUGH COUNTY FLORIDA.

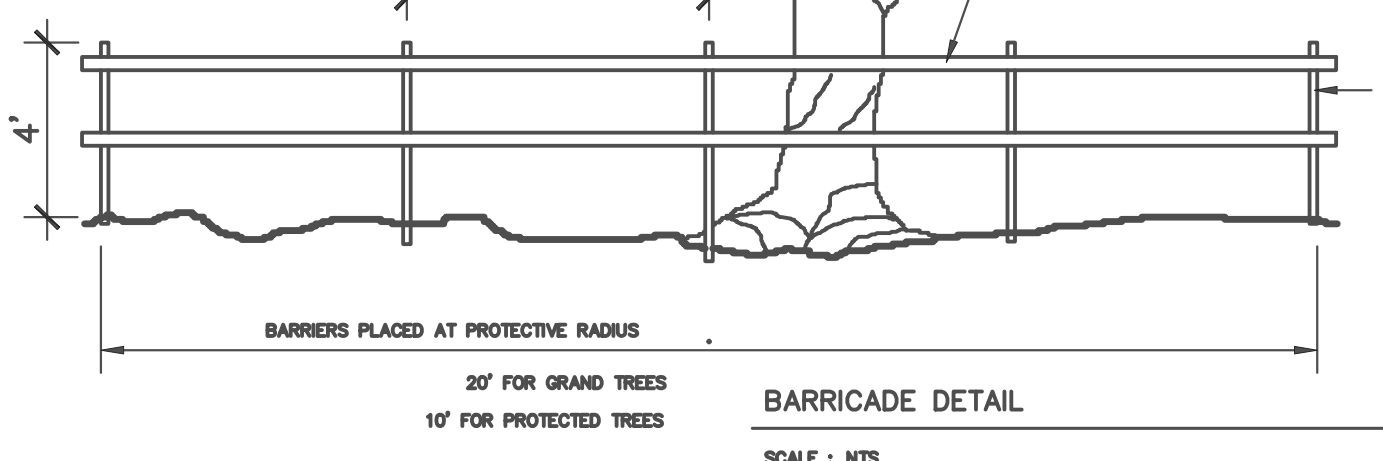
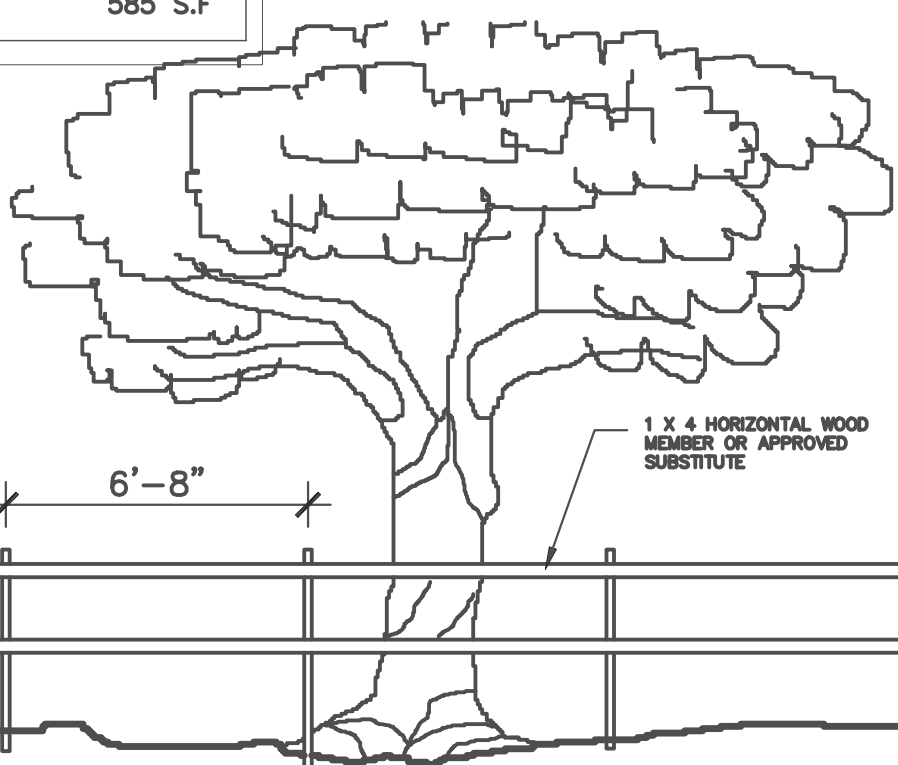
ADDRESS

3501 W ELROD AVE AVE TAMPA

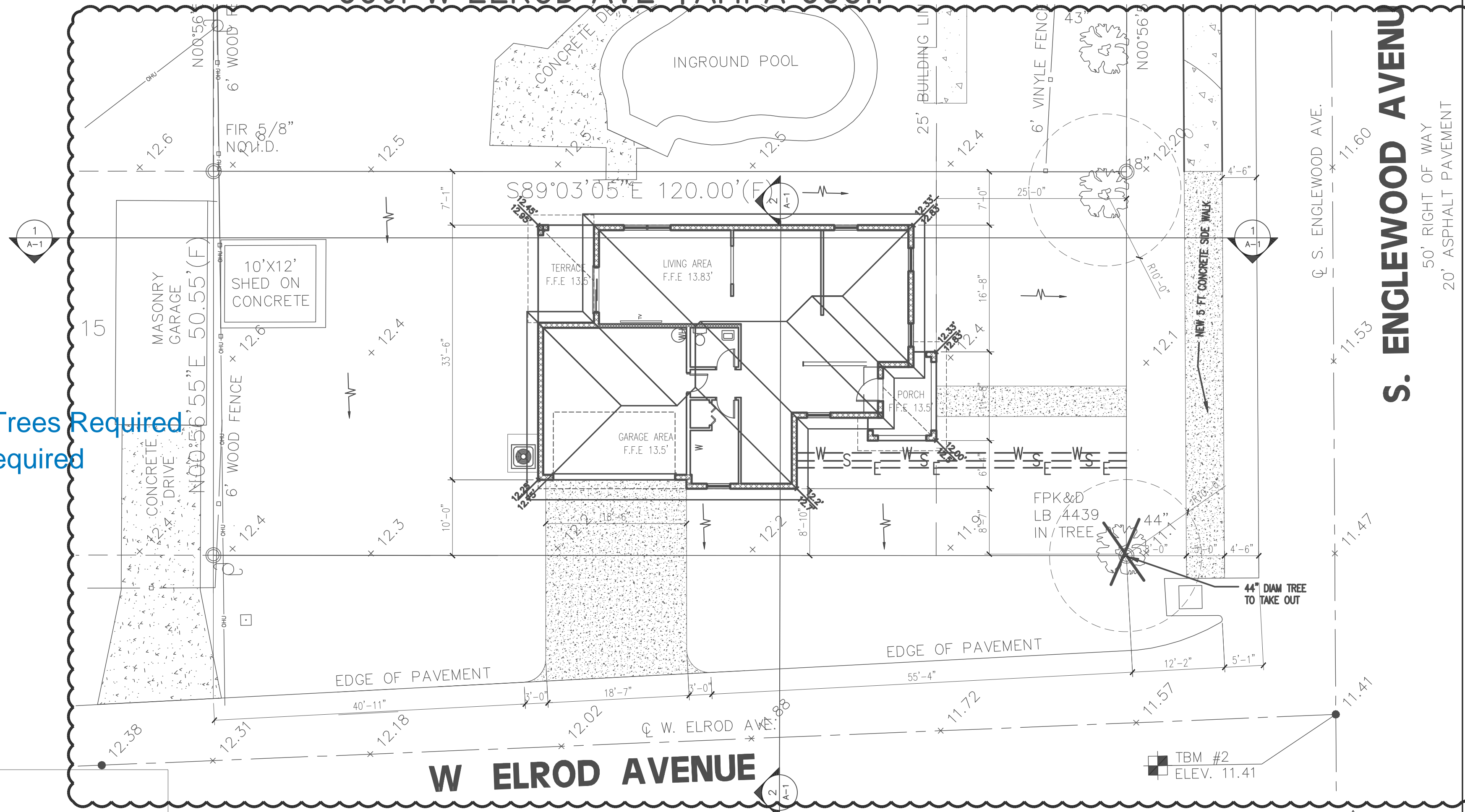
AREA:	6671.50 S.F.
• FIRST FLOOR (LIVING)	1028 S.F.
• 2ND. (LIVING)	1447 S.F.
TOTAL LIVING	2475 S.F.
• GARAGE	390 S.F.
• PORCH	80 S.F.
• LANAI	108 S.F.
TOTAL BUILDING (TWO STORY)	3053 S.F.
TOTAL FIRST FLOOR	1606 S.F.
• DRIVE/WALK/PADS =	585 S.F.

LEGEND

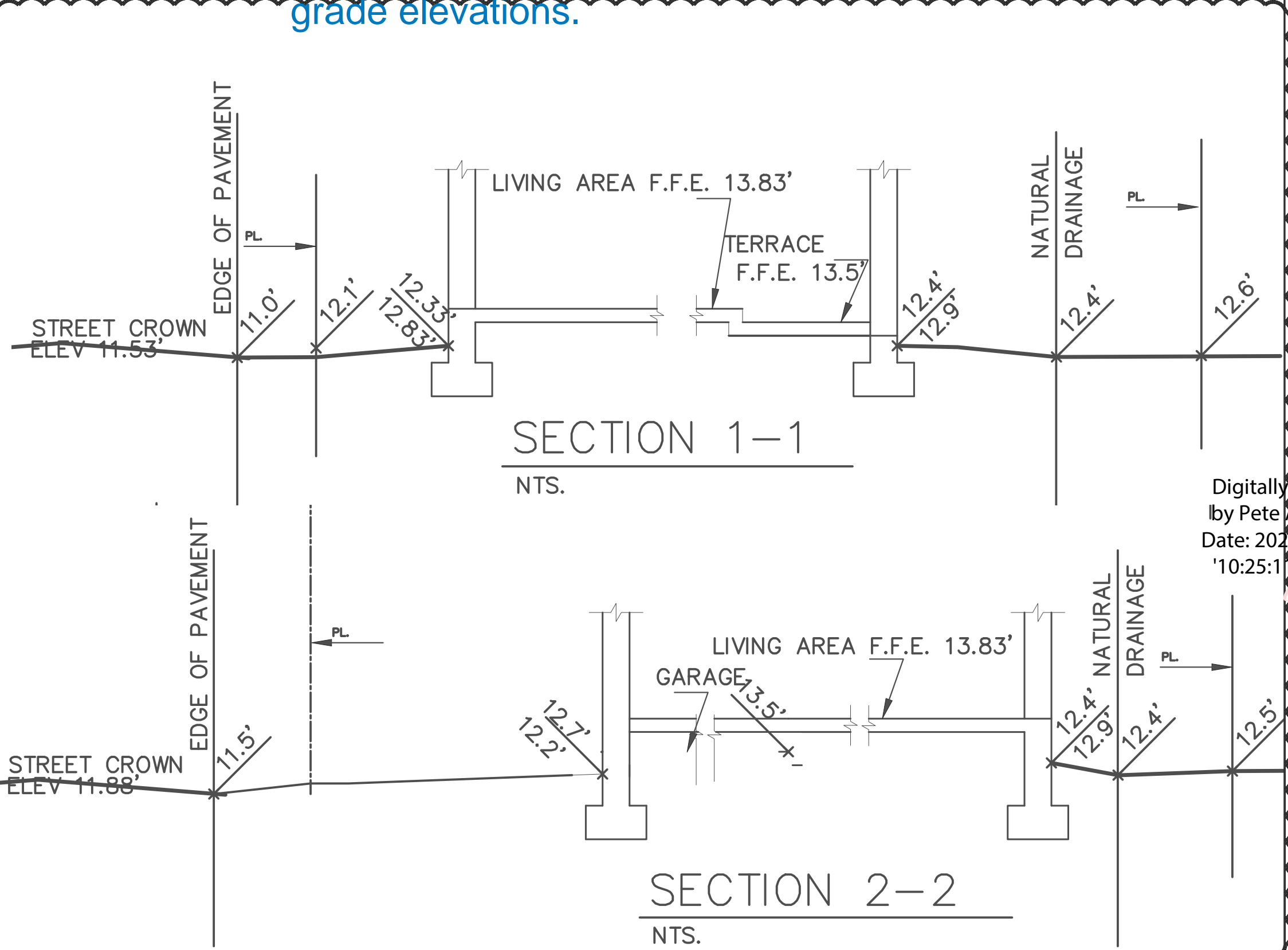
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- EXISTING ELEVATION
- PROPOSED ELEVATION
- NATURAL DRAINAGE FLOW
- PROPERTY LINE
- W-W WATER LINE (Verify)
- S-S SANITARY LINE (Verify)
- E-E ELECTRIC SERVICE (Verify)
- EXISTING WELL TO ELIMINATE



TWO STORY RESIDENCE
3501 W ELROD AVE TAMPA 33611



Lower adjacent grade on section 1-1 to match existing grade elevations.



TYPE 1: TALL & WIDE							
Trees Retained	# of trees	Retention Multiplier	Total Credits	Grand Trees Retained	# of trees	# Mitigation Trees	Total Credits
Diameter (inches) / Dripline (feet)							
5" to 10"	0	-1	0				
11" to 20"	1	-2	-2	LIVE OAKS	1	44	-44
21" to 25"	0	-4	0				
26" to <32"	0	-12	0				
Subtotal	1		-2	Subtotal			-44
Trees Removed	# of trees	Replacement Multiplier	Total Debits	Grand Trees Removed	# of trees	# Mitigation Trees	Total Debits
Diameter (inches) / Dripline (feet)							
5" to 10"	0	1	0				
11" to 20"	0	2	0		0	0	0
21" to 25"	0	3	0				
26" to <32"	0	4	0				
Subtotal	0		0	Subtotal			0
Type 1: Total Mitigation Trees Required -46							
TYPE 2: TALL & NARROW							
Trees Retained	# of trees	Retention Multiplier	Total Credits	Grand Trees Retained	# of trees	# Mitigation Trees	Total Credits
Diameter (inches) / Dripline (feet)							
5" to 17"	0	-1	0				
18" to 29"	0	-2	0		0	0	0
30" to <32"	0	-3	0				
Subtotal	0		0	Subtotal			0
Trees Removed	# of trees	Replacement Multiplier	Total Debits	Grand Trees Removed	# of trees	# Mitigation Trees	Total Debits
Diameter (inches) / Dripline (feet)							
5" to 17"	0	1	0				
18" to 29"	0	2	0	Grand tree(s)	0	0	0
30" to <32"	0	3	0				
Subtotal	0		0	Subtotal			0
Type 2: Total Mitigation Trees Required 0							
TYPE 3: SHORT & WIDE/MULTI-STEM							
Trees Retained	# of trees	Retention Multiplier	Total Credits	Grand Trees Retained	# of trees	# Mitigation Trees	Total Credits
Diameter (inches) / Dripline (feet)							
5" to 7"	0	-1	0				
8" to 17"	0	-2	0	Grand tree(s)	0	0	0
18" to 29"	0	-3	0				
30" to <32"	0	-12	0				
Subtotal	0		0	Subtotal			0
Trees Removed	# of trees	Replacement Multiplier	Total Debits	Grand Trees Removed	# of trees	# Mitigation Trees	Total Debits
Diameter (inches) / Dripline (feet)							
5" to 7"	0	1	0				
8" to 17"	0	2	0	Grand tree(s)	0	0	0
18" to 29"	0	3	0				
30" to <32"	0	4	0				
Subtotal	0		0	Subtotal			0
Type 3: Total Mitigation Trees Required 0							
PALMS							
Trees Retained	# of trees	Retention Multiplier	Total Credits	Trees Removed	# of trees	Replacement Multiplier	Total Debits
Palms with 6" clear trunk	0	1	0	Palms with 6" clear trunk	0	1	0
Subtotal	0		0	Subtotal			0
Palm: Total Mitigation Trees Required 0							
NOTES:							
[1] All grand tree species calculated at "moderate" growth rate and using 10" caliper tree as standard 5-Year Parity (i.e. 154 SF replacement Crown Footprint per 2.5" caliper tree planted).							
[2] Species Rating % standardized to mid-point of range. SR ["Species Rating"]: Rating denotes comparative value by species, based on suitability & performance as 'urban trees', using FL ISA's Tree Species Ratings (2016); recorded as PERCENT. If SR not available, use CR value (see Table 284.3.2-A City of Tampa Tree Matrix).							
[3] CR ["Condition Rating"]: Rating using Tree Hazard Evaluation Method (Matheny and Clark 1994); recorded as a PERCENT ["A"=100%, "B"=90%, "C"=75%, "D"=40%, "F"=0%].							
[4] Refer to Table 284.4.1-A1 Range of Species Ratings below.							
[5] Credit for grand tree retention is calculated in the same manner as debits.							
[6] All mitigation trees measuring less than 5" shall be factored into this table as a 5" tree.							
Reference: 10" minimum diameter, 6" minimum DBH, 2.5" minimum caliper. "SF" means "square feet;" "cal" means "caliper."							

City of Tampa CONSTRUCTION SERVICES DIVISION	PLAN APPROVAL
BLD 20-0473164	4/20/2020
REVIEW THIS SET DATE: 4/20/2020	PLANS MUST BE KEPT ON THE JOB AT ALL TIMES
It is unlawful to make changes or alterations without written approval from the City of Tampa Construction Services Division.	
The stamping of this plan shall not be held to permit or approve the violation of any City or State Codes	
REVIEWED FOR CODE COMPLIANCE	

TWO STORY RESIDENCE
SITE PLAN AND NOTES

Project: MARK FORNEY, LLC
Sheet Contents: 6421 S ENGLEWOOD AVE TAMPA

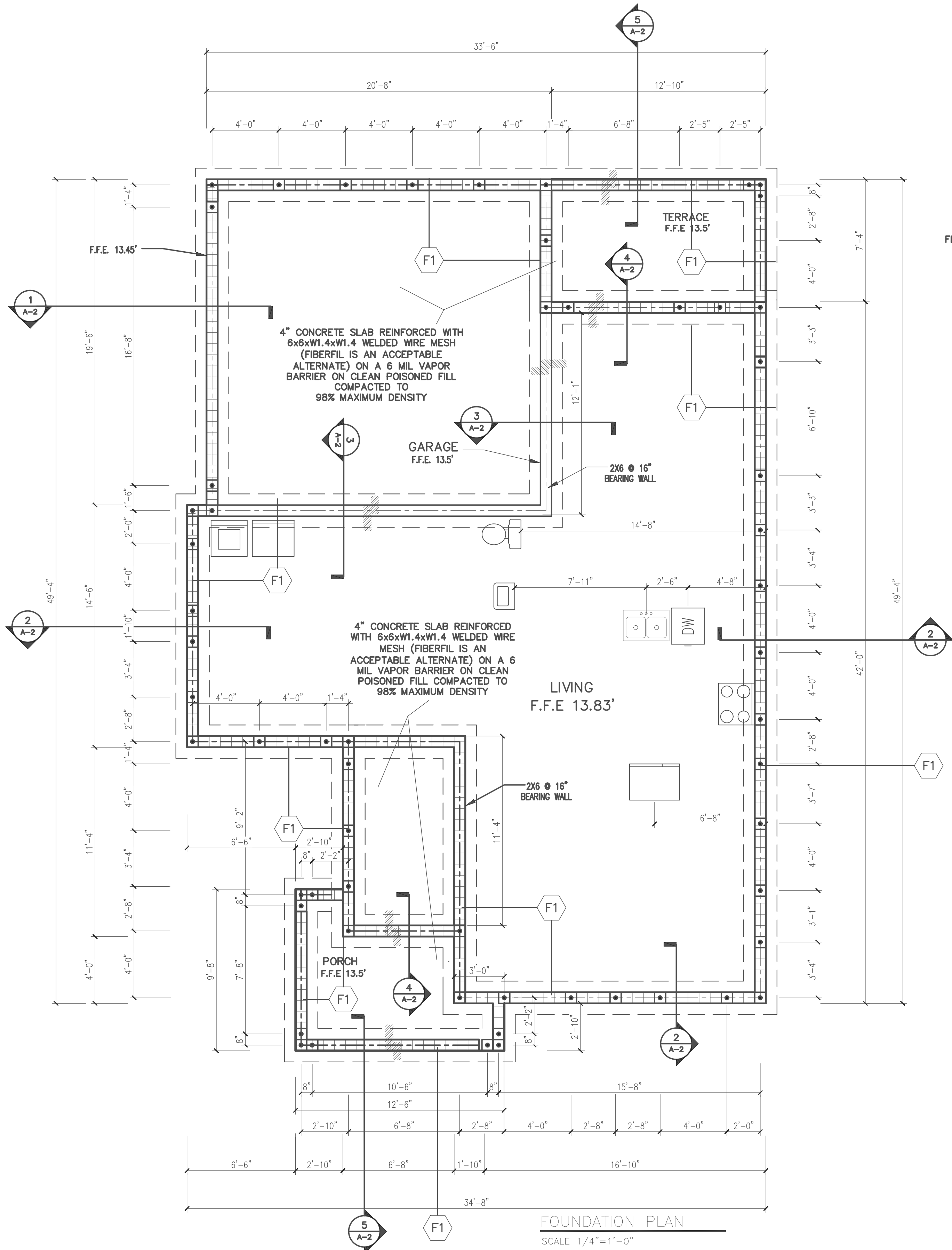
6421 S ENGLEWOOD AVE TAMPA

PETE ARCHITECTS, INC.
PH: 813
231-5890
1315 W. BUSCH BLVD
FL 33612
pete@petearchitects.com
Lic # 8735

Digitally signed by Pete Alfonso
Date: 2020.04.06 10:25:11 -04'00'

PLANS COMPLY WITH THE FLORIDA BUILDING CODE 6TH EDITION (2017)-RESIDENTIAL

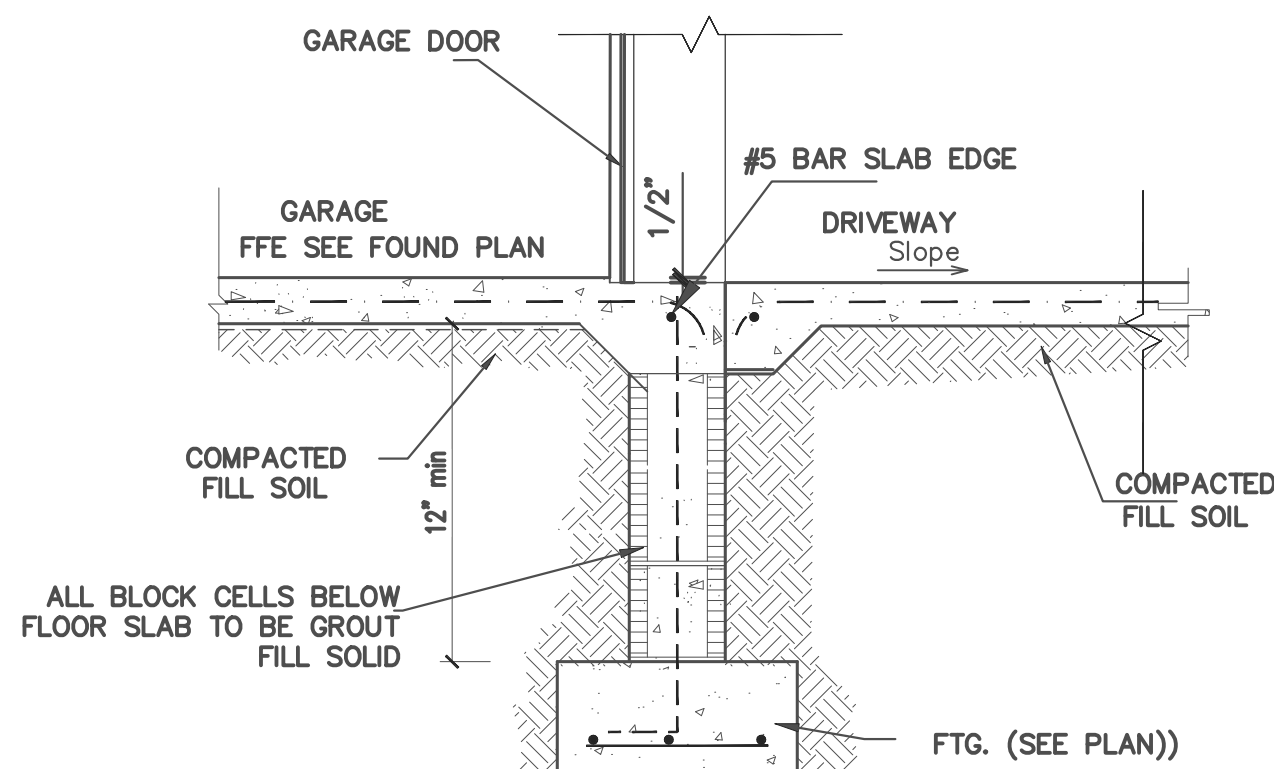
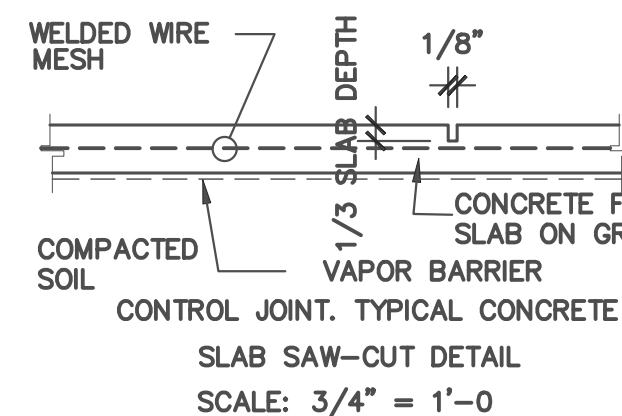
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Drawn: D.O
Job: --
Sheet: A-1
1 of 8



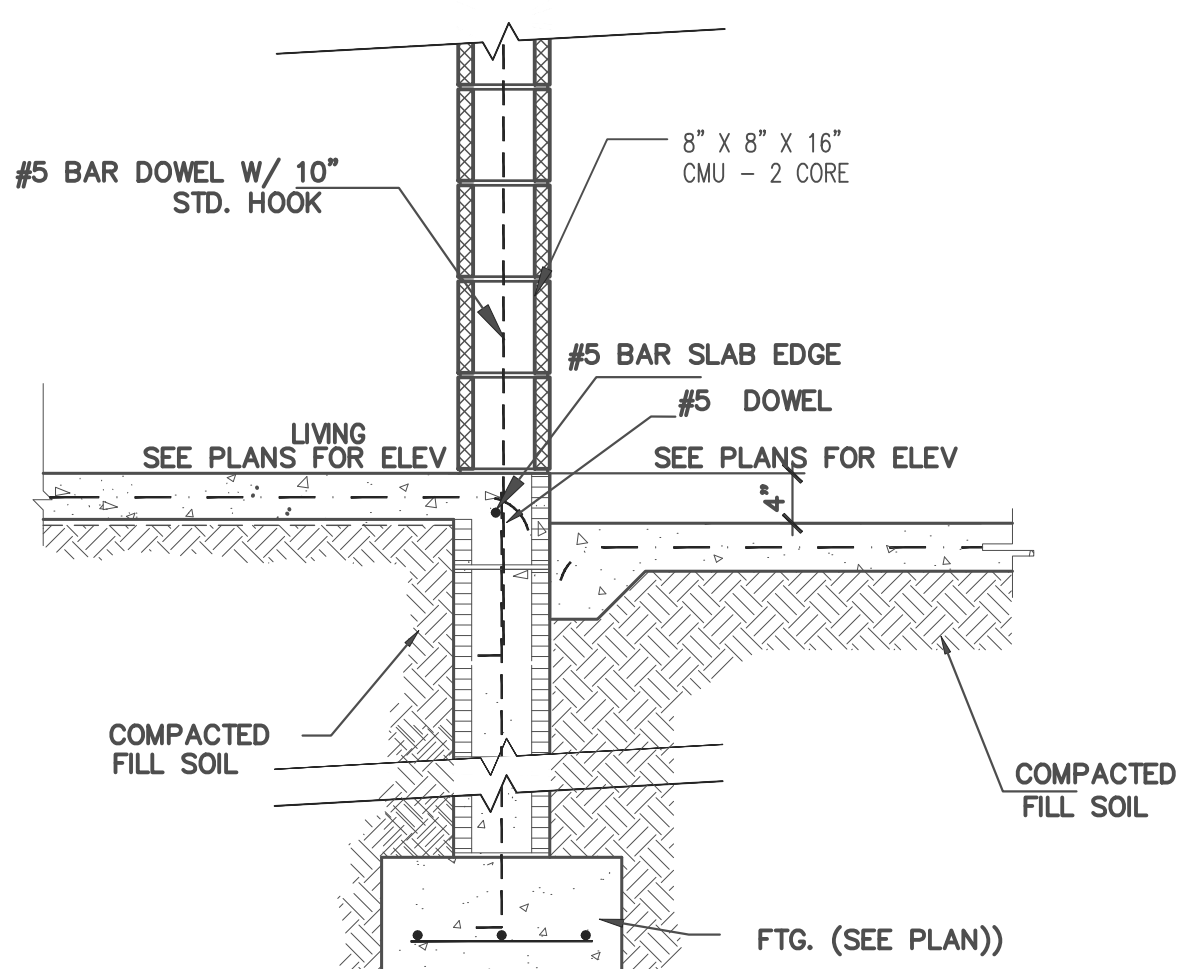
FOOTING SCHEDULE					
MARK	SIZE		REINFORCING		REMARKS
	LENGTH	WIDTH	DEPTH	TOP	BOTTOM
F1	CONT.	24"	12"	(3) # 5	

MASONRY WALL VERTICAL REINFORCEMENTS:
UNLESS OTHERWISE NOTED ON PLAN, PLACE 1-#5 CONT. FROM FOOTING INTO ROOF BEAM
IN CONCRETE FILLED CELLS AT ALL MASONRY OPENINGS, DOOR JAMBS, WINDOW JAMBS,
INTERSECTION, ENDS OF WALLS, AND OTHER AREAS AS FOLLOWS:
EXTERIOR WALL 5'-4" O.C. MAX.
INTERIOR WALL 8'-0" O.C. MAX.
NOTE: WHERE VERTICAL REINFORCING DOES NOT ALIGN WITH CELL BELOW, PLACE #5
NOTE: DOWEL WITH STANDARD HOOK IN BEAM WITH MIN. 12" EMBEDMENT OR PLACE #5
DOWEL WITH 90 DEGREE HOOK IN SLAB AND MIN. TENSION DEVELOPMENT.
TOP OF ALL FOOTINGS AT SAME ELEVATION (MIN 12" BELOW GRADE)

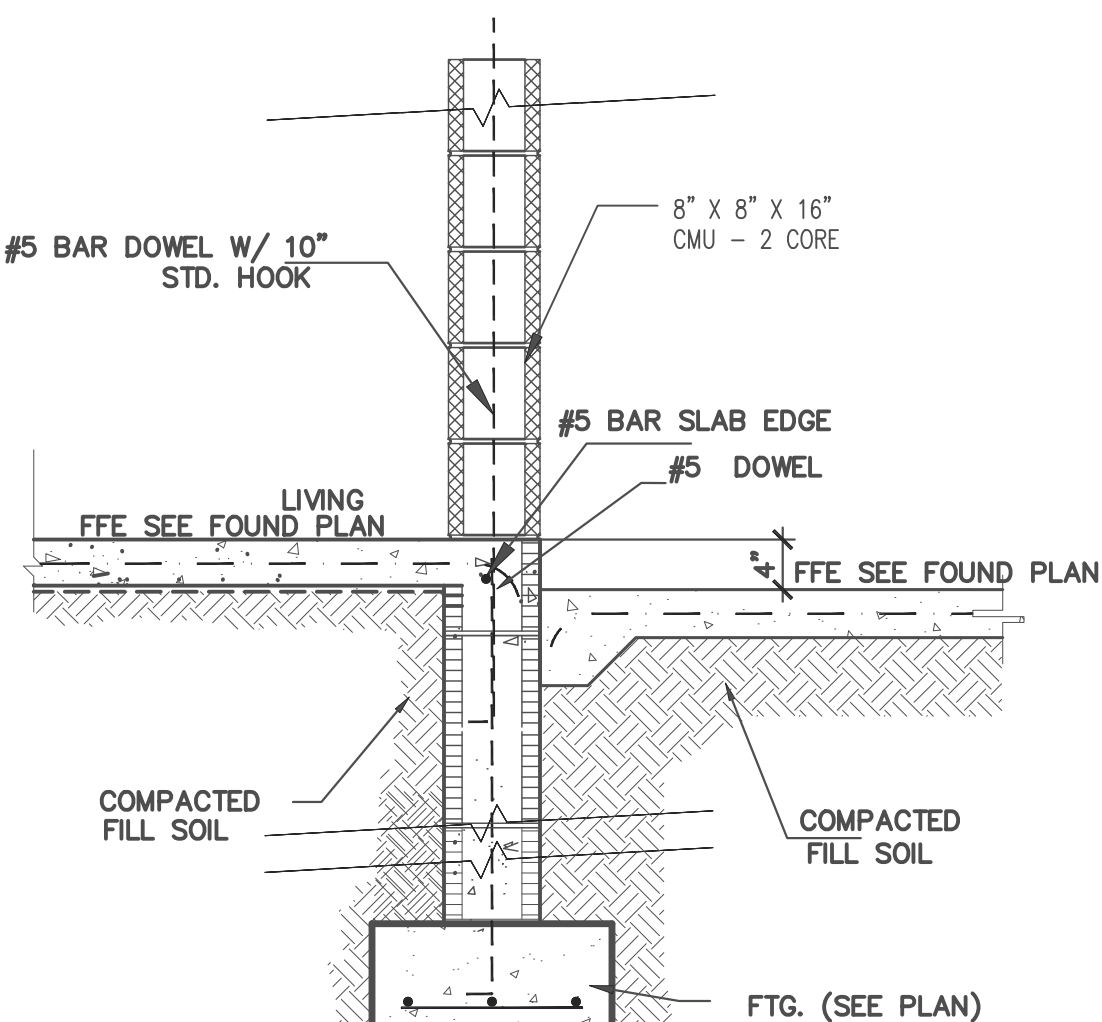
SAWCUT TO BE FILLED W/ ELASTOMERIC SEALANT
AFTER CLEANING OUT WITH COMPRESSED AIR
SAWED JOINT TO BE SAW-CUT WITHIN
12 HOURS OF CONCRETE PLACEMENT



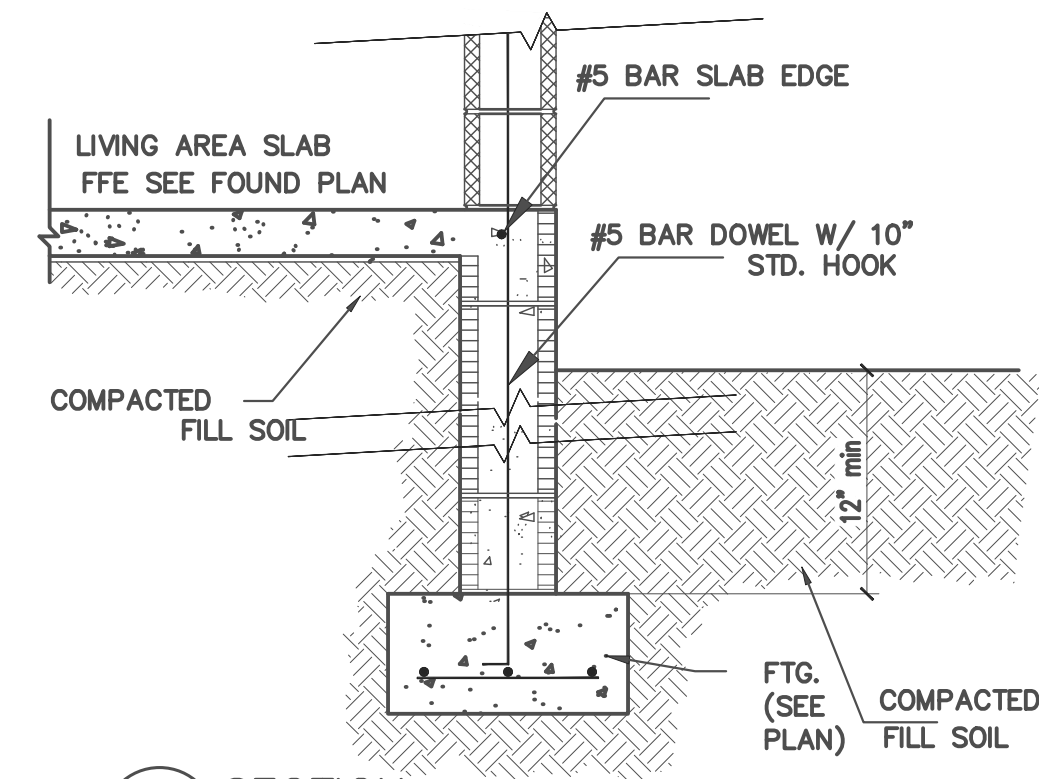
1 SECTION (GARAGE-DRIVEWAY)
SCALE: 3/4"=1'-0"



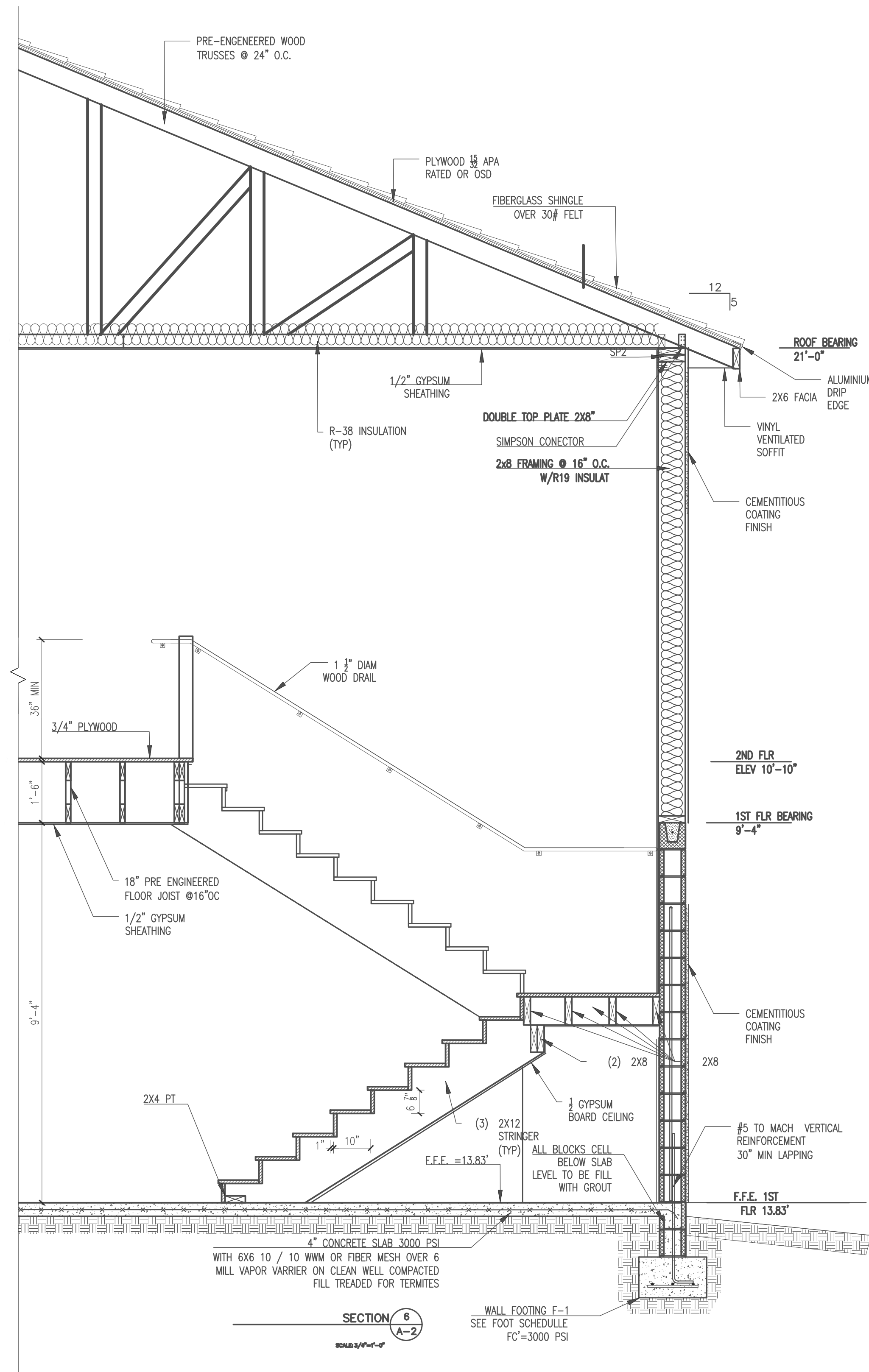
3 STEM WALL FOUNDATION ALTERNATIVE
SCALE: 3/4"=1'-0"



4 SECTION
SCALE: 3/4"=1'-0"



2 SECTION
SCALE: 3/4"=1'-0"



SECTION 6
SCALE: 3/4"=1'-0"

REVIEW Temp-DATE
CONSTRUCTION SERVICES DIVISION
PLAN APPROVAL
BLD-20-0473164 4/20/2020
THIS SET OF PLANS MUST BE KEPT ON
THE JOB AT ALL TIMES
It is unlawful to make changes or
alterations without written approval
from the City of Tampa Construction
Services Division.
The Stamping of this plan shall not be
held to permit or approve the violation
of any City or State Codes
REVIEWED FOR CODE COMPLIANCE

TWO STORY RESIDENCE
FOUNDATION PLANS, SECTIONS AND DETAILS

Project: MARK FORNEY, LLC
3501 W ELROD AVE TAMPA 33611

PH: 813
TAMPA, FL
PETE ARCHITECTS, P.A.
231-5800
1315 W. BUSH BLVD
FL 33612
pete@petearchitects.com
Lic # 8735

PLANS COMPLY WITH THE
FLORIDA BUILDING CODE 6TH
EDITION (2017)- RESIDENTIAL

Date: 08/22/2019

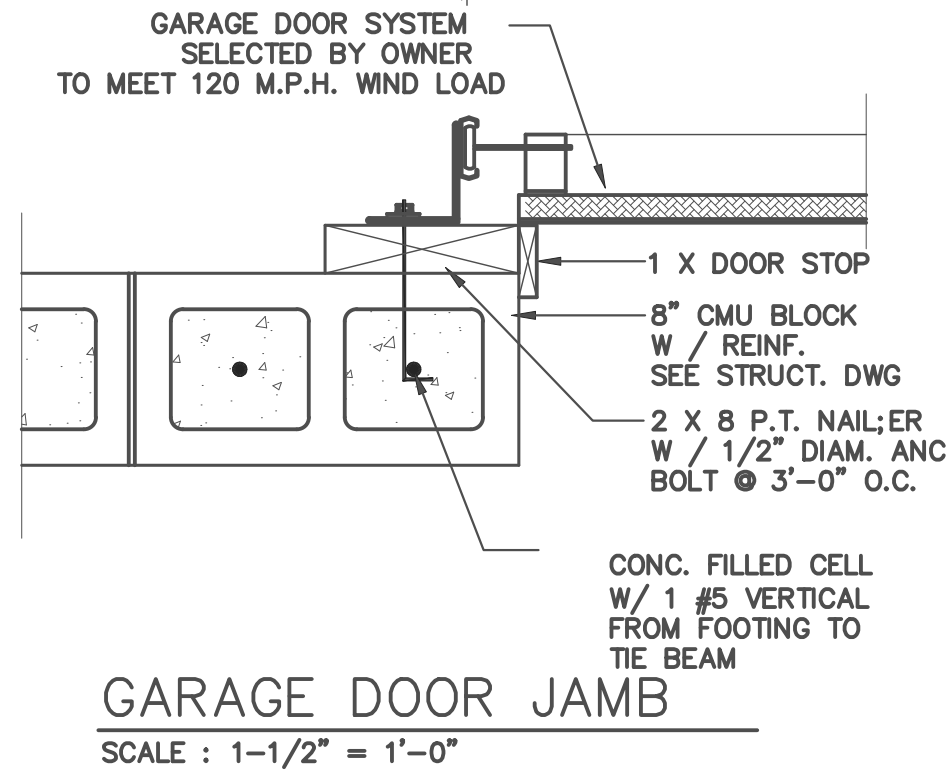
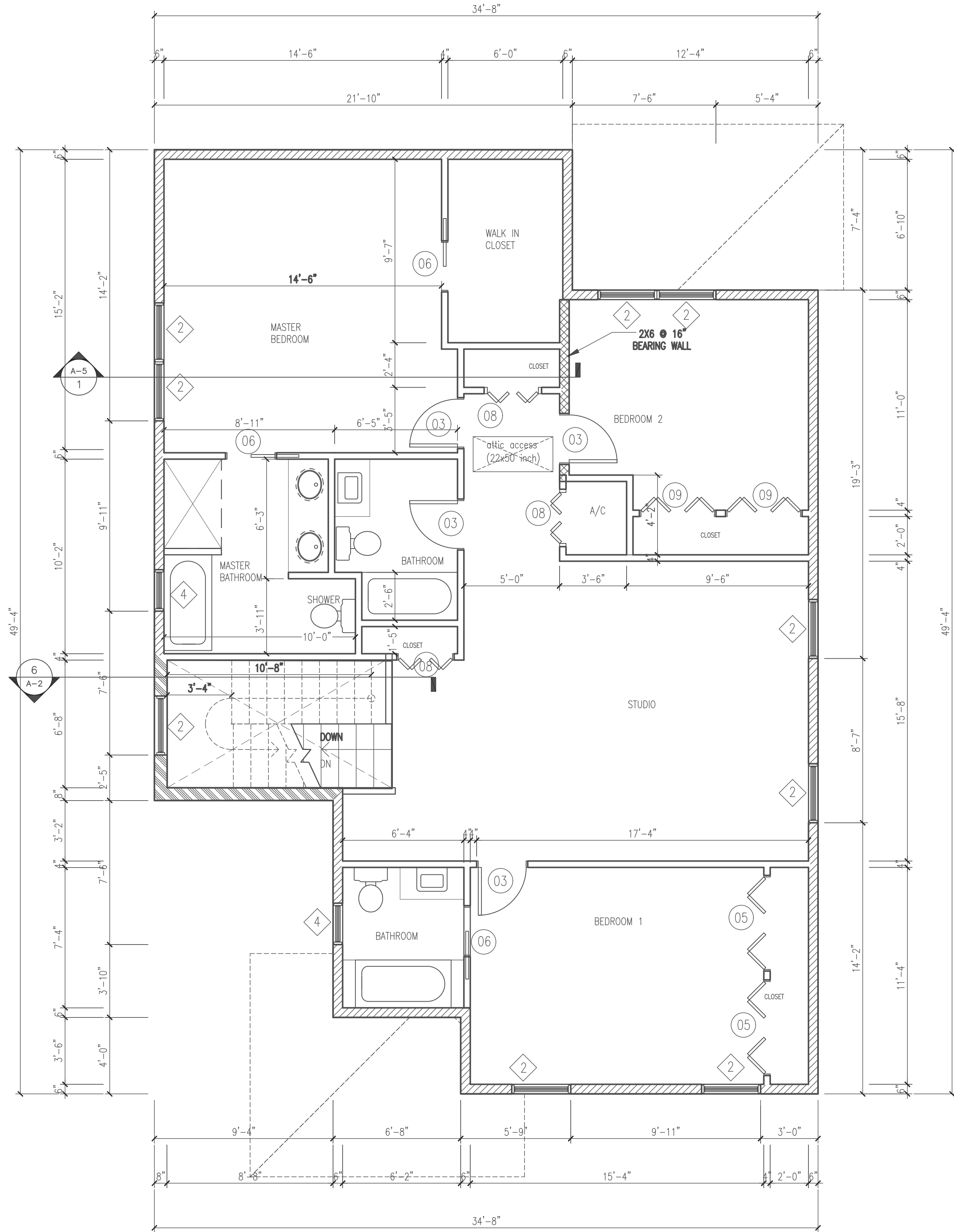
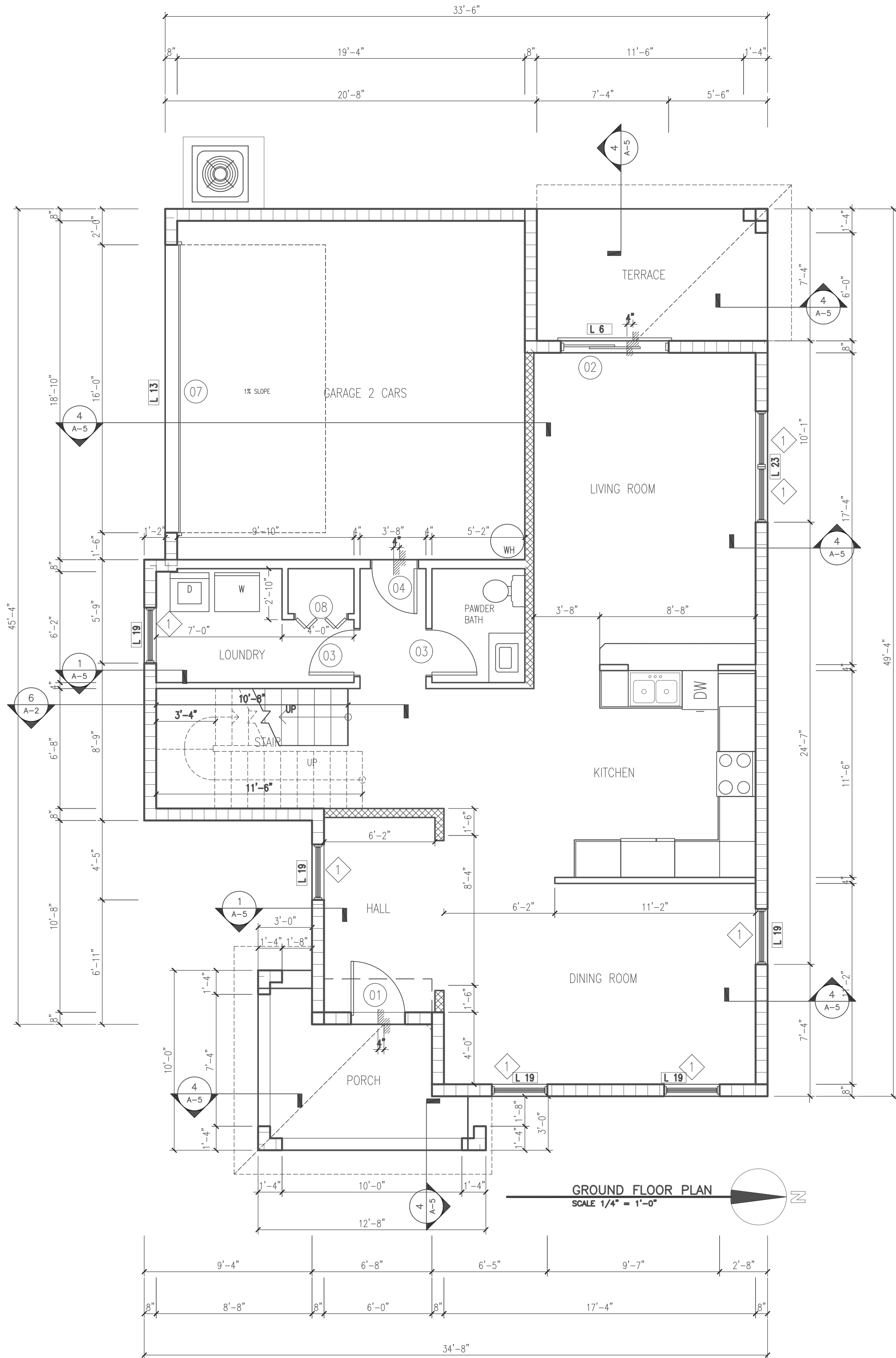
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Job: --

Sheet: A-2

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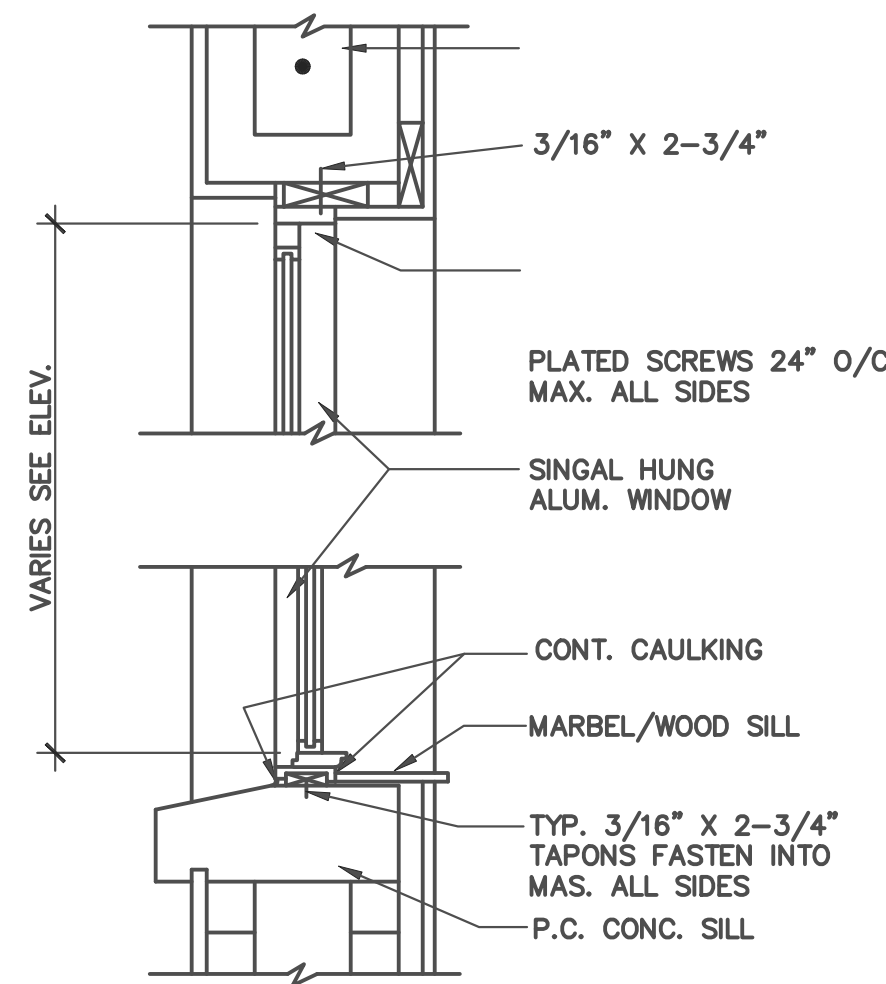


DOORS SCHEDULE					
DR	SIZE	MATERIAL	MFG.	NOTE	NOTE
①	3'-0" X 8'-0"	ALUM. (GL.SL)	MASONITE	EXTERIOR - W/ (2) 14" SIDE LITE	
②	6'-0" X 8'-0"	ALUM. (GL.SL)	PGT INDUSTRIES	EXTERIOR - INSULATION	
③	2'-8" X 6'-8"	WOOD (P.)	MASONITE	INTERIOR	
④	2'-8" X 6'-8"	WOOD (P.)	MASONITE	EXTERIOR - 20 MIN. FIRE RATED	
⑤	5'-0" X 6'-8"	WOOD (BF.)	MASONITE	INTERIOR	
⑥	2'-8" X 6'-8"	WOOD (PK.)	MASONITE	INTERIOR	
⑦	16'-0" X 8'-0"	GD.	CLOPAY	GARAGE DOOR	
⑧	3'-0" X 6'-8"	WOOD (BF.)	MASONITE	INTERIOR	
⑨	4'-0" X 6'-8"	WOOD (BF.)	MASONITE	INTERIOR	

ALL DOORS TO BE RESIDENTIAL GRADE 6 PANEL
EXTERIOR DOORS TO BE INSULATED AND WITH WEATHERSTRIPPING
(BF.) = BIFOLD DOOR (P.) = PANEL DOOR
(GL.SL.) = GLASS SLIDING DOOR (GD.) = GARAGE DOOR
(PK.) = POKET DOOR

WINDOWS SCHEDULE								MASONRY R/O		FRAMING R/O	
ID	TYPE	CODE	WIDTH	HEIGHT	FRAME FINISH	STOOL	NOTE				
①	SINGLE HUNG	SH25	37"	63"	VINYL/WHITE	MAR	EMERGENCY ESCAPE	38"	63"		
②	SINGLE HUNG	SH25	37"	63"	VINYL/WHITE	MAR	EMERGENCY ESCAPE			37"	63"
③	SINGLE HUNG	SH32/2	26"	26"	VINYL/WHITE	MAR		27 1/2"	26"		
④	SINGLE HUNG	SH32/2	26"	26"	VINYL/WHITE	MAR				26"	26"

NOTE.- PROVIDE RESIDENTIAL GRADE HARDWARE AS APPROVED BY OWNER & IN COMPLIANCE WITH CODE
- INTERIOR DOORS TO BE 6 PANEL DOORS UNLESS NOTED OTHERWISE
- EXTERIOR DOORS TO BE METAL OR FIBERGLASS, INSULATED & WITH WEATHERSTRIPPING
- DOORS & WINDOWS TO BE APPROVED BY OWNER BEFORE ORDERING
- STUCCO WORK TO BE IN COMPLIANCE WITH ASTM - C926 & ASTM - C1063



TYPICAL WINDOW
SCALE : 1-1/2" = 1'-0"

LEGEND

- EXTERIOR WALL: 8" CONC. BLOCKWALL WITH 1/2" GYP. BD. ON 1 X P.T. FURRINGS
- 16 O.C. INSUL R4 (INSIDE FINISH)
- STUCCO (OUTSIDE FINISH UNLESS NOTED OTHERWISE.
- EXTERIOR WALL: (STAIR ENCLOSURE) 2x8 STUDS @ 16" O.C. WITH 1/2" PLYWD. SHEATHING - UNLESS NOTED OTHERWISE. INSUL. R19
- EXTERIOR WALL: 2x6 STUDS @ 16" O.C. WITH 1/2" PLYWD. SHEATHING - UNLESS NOTED OTHERWISE. INSUL. R19
- INTERIOR BEARING WALL: 2x6 STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD EACH SIDE - UNLESS NOTED OTHERWISE.
- 6" WALL PARTITION. 2X6 WOOD STUDS @ 16" O.C. GYPSUM BOARD IN EACH SIDES.
- INTERIOR PARTITION: 2x4 STUDS @ 16" O.C. WITH 1/2" GYP. BD. EACH SIDE - UNLESS NOTED OTHERWISE.
- PRECAST UNTEL TYPE
- CONC. FILLED CELL W/ 1 #5 VERTICAL FROM FOOTING TO TIE BEAM

SAFETY HAZARDOUS GLAZING LOCATION NOTES:

1- FOR GLAZING SHOWERS ENCLOSURE OR OTHER GLAZING USED IN WET SURFACES WHERE THE BOTTOM EXPOSE EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE CONSIDER HAZARDOUS LOCATION. AND SHALL COMPLY WITH 2017 F.B.C. 6TH EDITION RESIDENTIAL. SEE NOTES "REQUIRED SAFETY GLAZING IN HAZARDOUS LOCATIONS" A-8.

HURACANE WINDOWS/DOORS NOTES:

2- WINDOW / DOOR DESIGN PRESSURE = 55 PSF
3- WINDOW / DOORS (NOT IMPACT RESISTANT). PROVIDE TEMPORARY PLYWOOD SHUTTERS (SEE DETAIL ON SHEET A-8)

GARAGE NOTES:

4- GARAGE DOOR #3 TO BE 1 3/8" TK. SOLID CORE 20-MINUTES FIRE-RATED.
5- A/C DUCTS PENETRATING GARAGE/RESIDENCE WALL SHALL BE MIN. 26 GA. STEEL AND HAVE NO OPENINGS INTO THE GARAGE.
6- CEILING AND WALL BETWEEN GARAGE AND RESIDENCE TO HAVE MIN. 1/2" (TYPE X) G.B. APPLIED TO GARAGE SIDE

D.F.E. NOTE:

7- HEATING, VENTILATING, AIR CONDITIONING- PLUMBING APPLIANCES AND PLUMBING FIXTURES- DUCT SYSTEMS - ELECTRICAL AND OTHER EQUIPMENT SHALL BE LOCATED AT OR ABOVE DFE. 9.5'

FRAMING SYSTEM NOTES:

8- STUDS IN BEARING WALLS, EXTERIOR WALLS AND NON BEARING PARTITIONS SUPPORTING WALL HUNG PLUMBING FIXTURES AND WALL CABINETS SHALL BE NOT LESS THAN 2"x4" WHERE SPACED NOT MORE THAN 16" O/C. OR, NOT LESS THAN 2"x6" WHERE SPACED NOT MORE THAN 24" O/C.
9- A MINIMUM 2"x4" HORIZONTAL WOOD MEMBER, SECURELY FASTENED TO NOT LESS THAN 2 SUCH STUDS, SHALL BE INSTALLED FOR THE ATTACHMENT OF EACH WALL HUNG PLUMBING FIXTURE AND WALL CABINET.

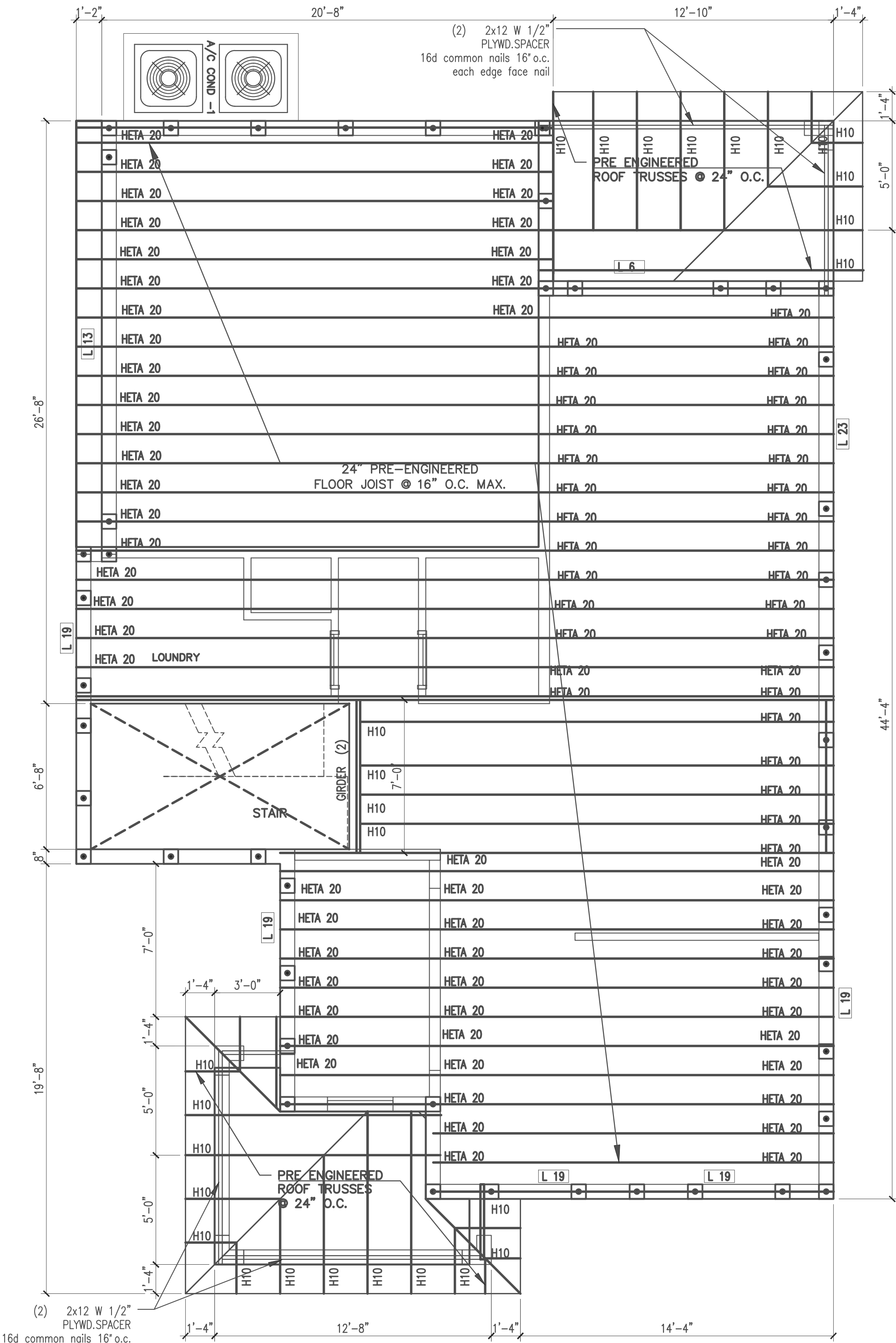
REV#	DATE	DESCRIPTION
1	4/20/2020	PLAN APPROVAL
2	4/20/2020	CONSTRUCTION SERVICES DIVISION

Project	Sheet Contents
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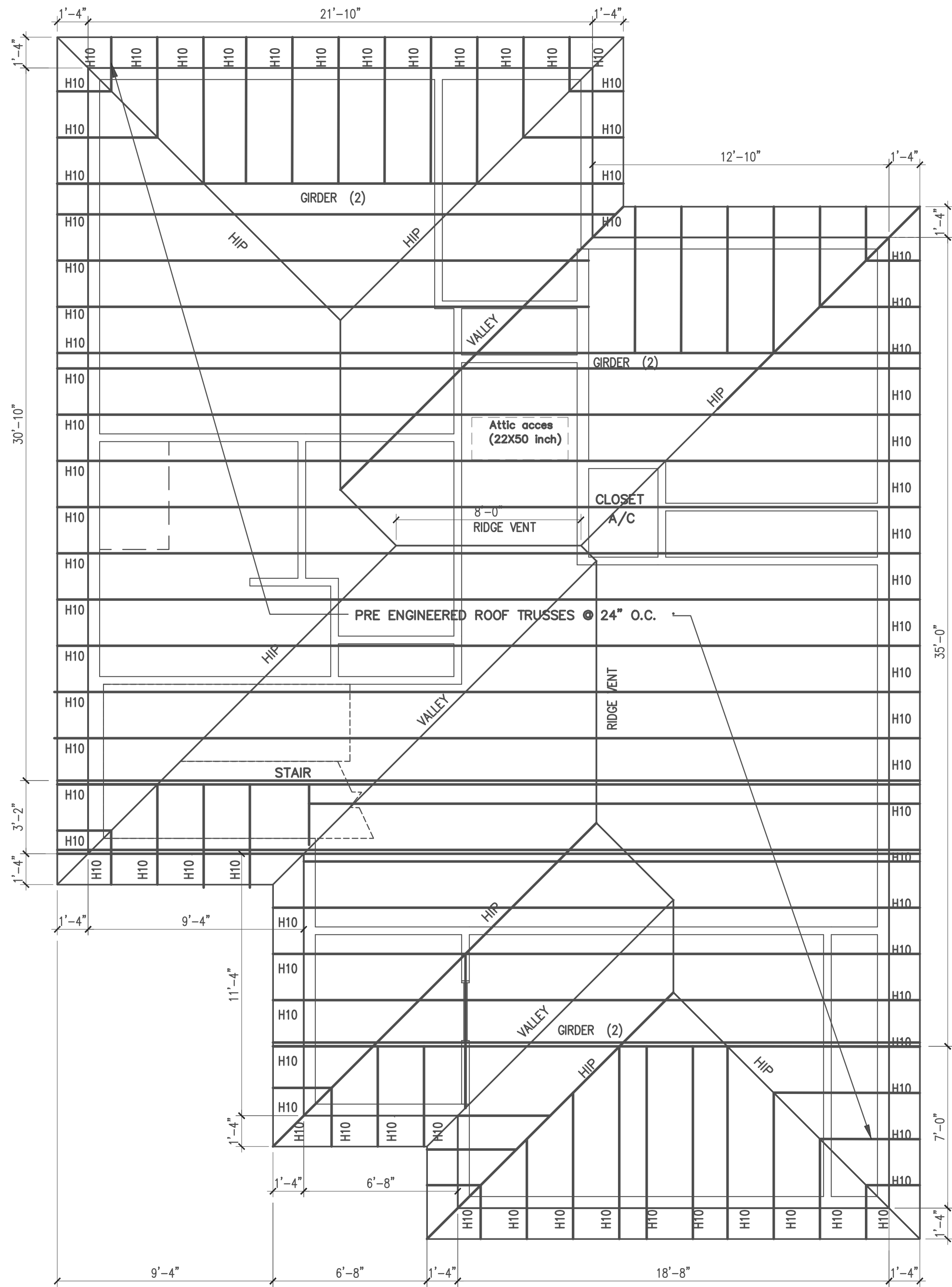
PETE ARCHITECTS, INC. 231-5800 1315 W. BUSCH BLVD FL 33612 Phone: 813.660.1680 Lic # 67335	PH: 813 TAMPA
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PLANS COMPLY WITH THE FLORIDA BUILDING CODE 6TH EDITION (2017)-RESIDENTIAL	Date: 08/22/2019
Scale: AS NOTED	Drawn: D.O
Job: --	Sheet: A-3
	3 of 8

ATTIC VENT CALCS, AS PER FBC 6TH ED, SECT R806	
OVER RESIDENCE	
ATTIC AREA	1447.00 SF
NET FREE VENTILATION AREA REQUIRES (1/300)	4.82 SF
REQUIRED VENTILATION AREA (*144)	694.56 SF IN
MIN (40%) REQUIRED VENTILATION IN UPER PORTION OF ATTIC	277.82 SF IN
MAX (50%) REQUIRED VENTILATION IN UPER PORTION OF ATTIC	347.28 SF IN
2X4 FLAMCO OFF RIDGE VENT	576 SQ.IN. ONE PC
TOTAL OF VENT REQUIRED	1
TOTAL OF VENTS PROVIDED	1
SOFFIT VENT VENTILATION PER LF	20.00 SQ.IN. PER LF
REQUIRED LF OF SOFFIT VENTILATION	34.73 LF
PROVIDED LF OF SOFFIT VENTILATION	35 LF MIN
GC COORD LOCATION IN FIELD	

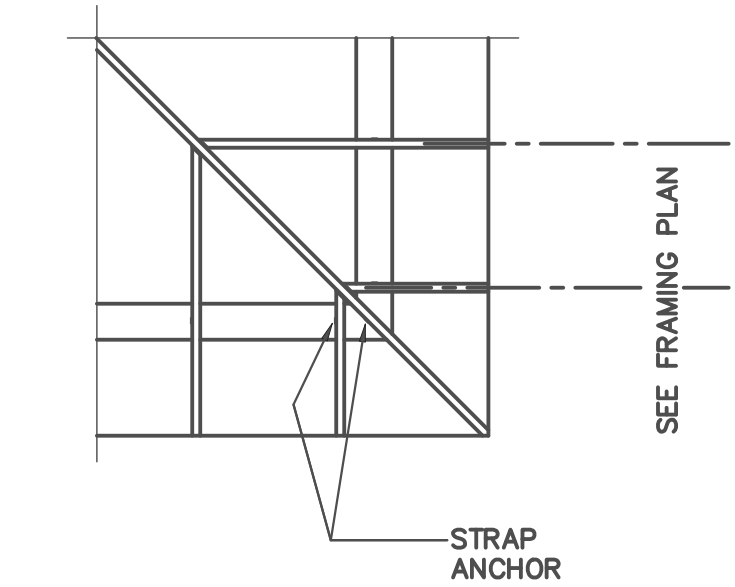
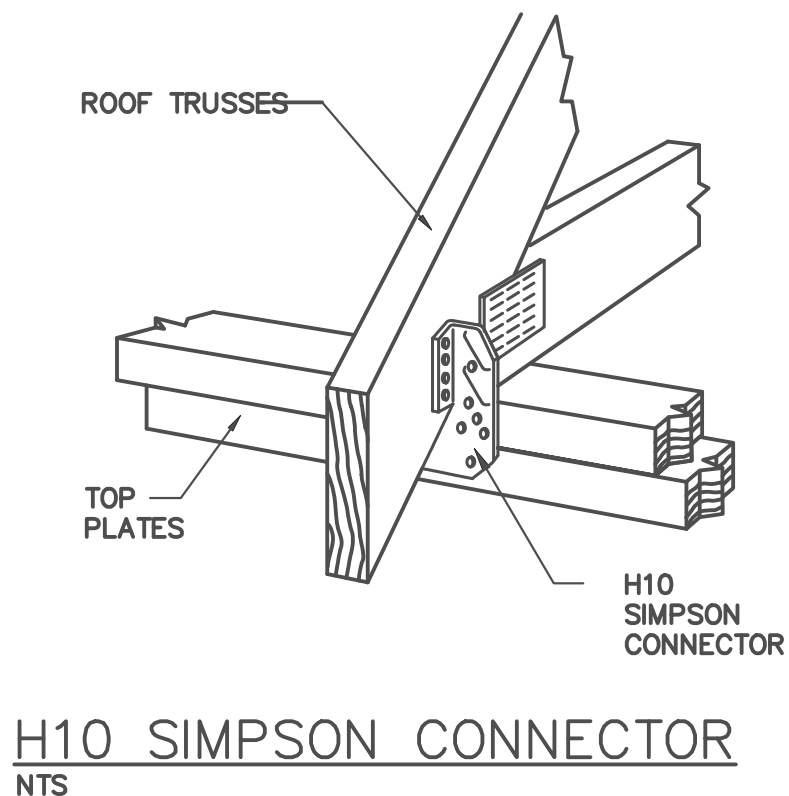
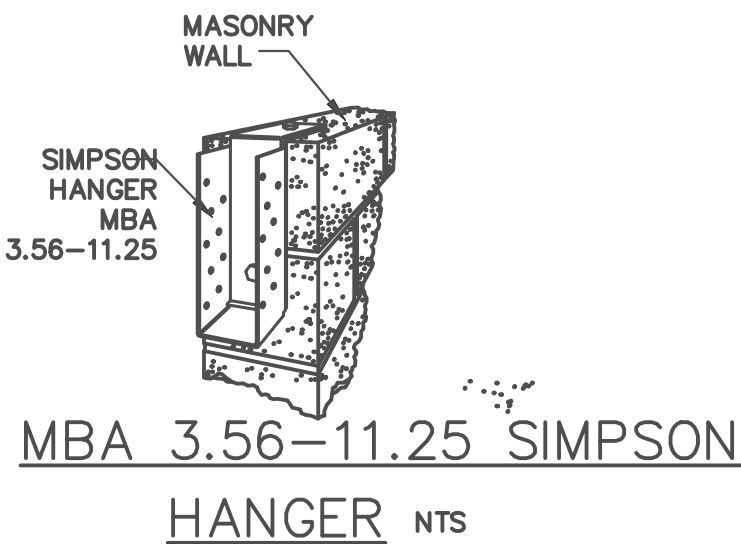
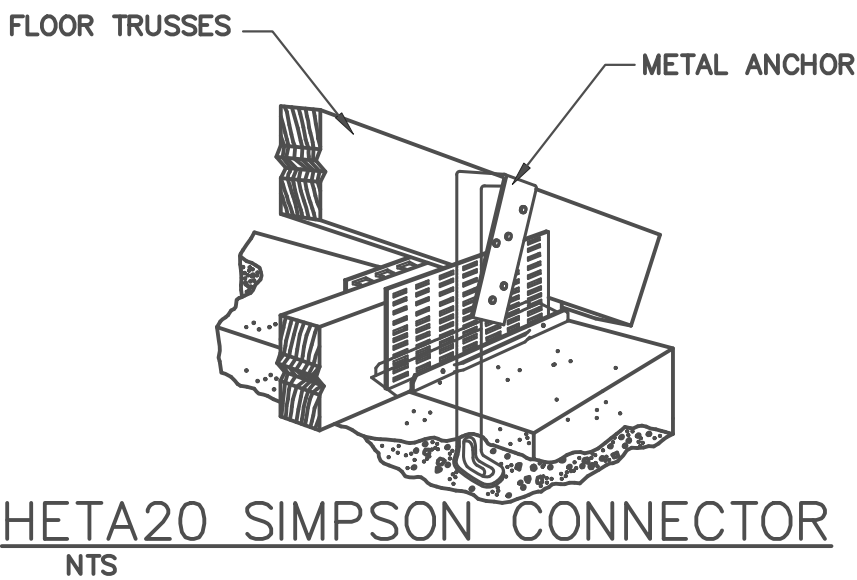


JOIST FRAMING PLAN, SECOND FLOOR
SCALE 1/4" = 1'-0"



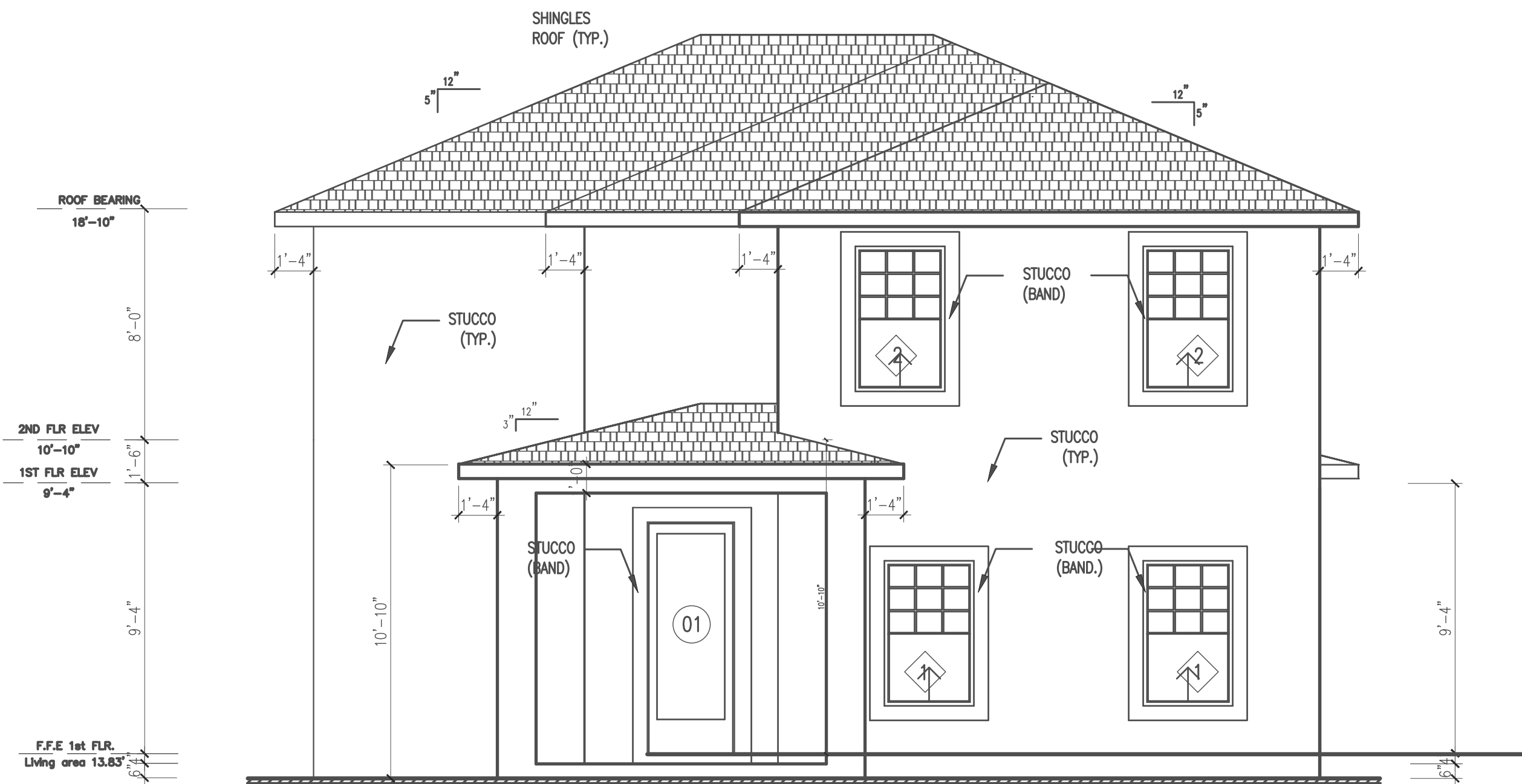
ROOF PLAN.
SCALE 1/4" = 1'-0"

SIMPSON CONNECTOR TABLE					
ITEM NO.	CAT. NO.	NO. OF FASTENERS	UPLIFT	LOAD	REMARKS
①	HETA20	12-10d x 1-1/2"	1810 #		SEE DETAIL
②	2/HETA20	12-10d x1-1/2 EACH	1490 # EACH		
③	H10A	8-10d x 1/2"	905 #		SEE DETAIL
④	H2.5	5-8d	600 #		SEE DETAIL
⑤	H10A 2	9-10-d x 1 1/2"	1245 #		
⑥	MTS18	14-10d x 1 1/2"	1000 #		
⑦	MBHA 3.56-11.25	18-10d EACH	1885 #	4380 #	SEE DETAIL
⑧	SP1 or SP2	6-10d x 1 1/2"	585 # - 890#		
⑨	GIRDER & CONNECTORS TO BE SELECTED BY TRUSS DESIGNER				
⑩	LU210	8-10d	630 # EACH	1200 #	



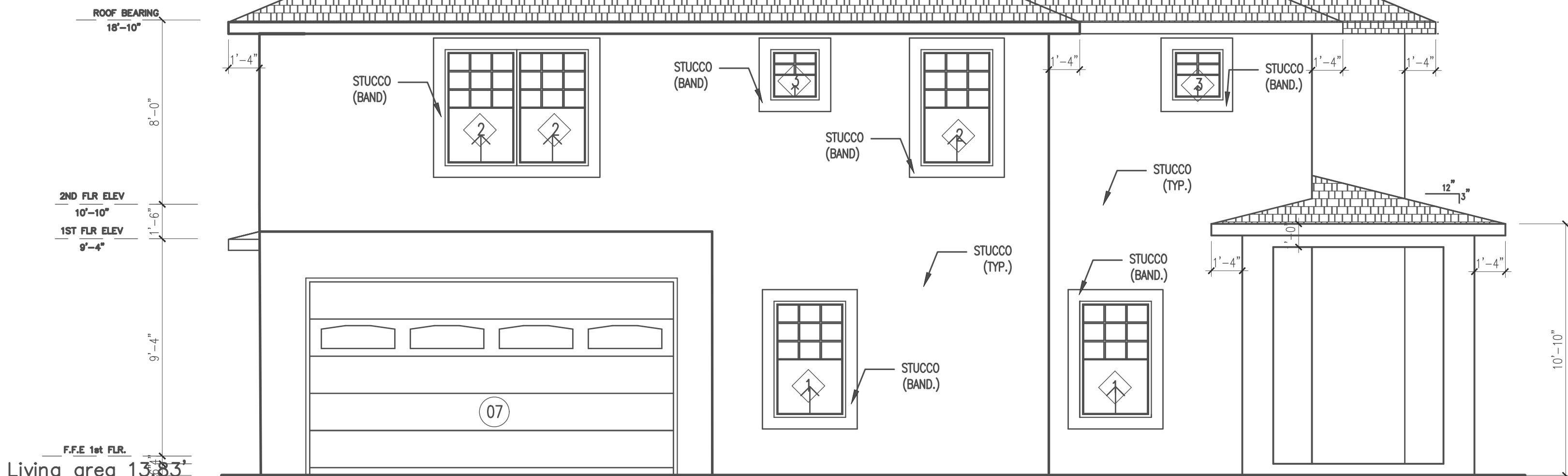
CORNER FRAMING DETAIL
SCALE: N.T.S

NOTES
INFORMATION PRESENTED IN THIS LAYOUT IS ONLY TO CONVEY THE DESIGNER'S INTENT. FINAL FLOOR AN ROOF FRAMING PLANS (INCLUDING PERMANENT SUPPORTS) MUST BE ENGINEERED BY THE TRUSS SUPPLIER



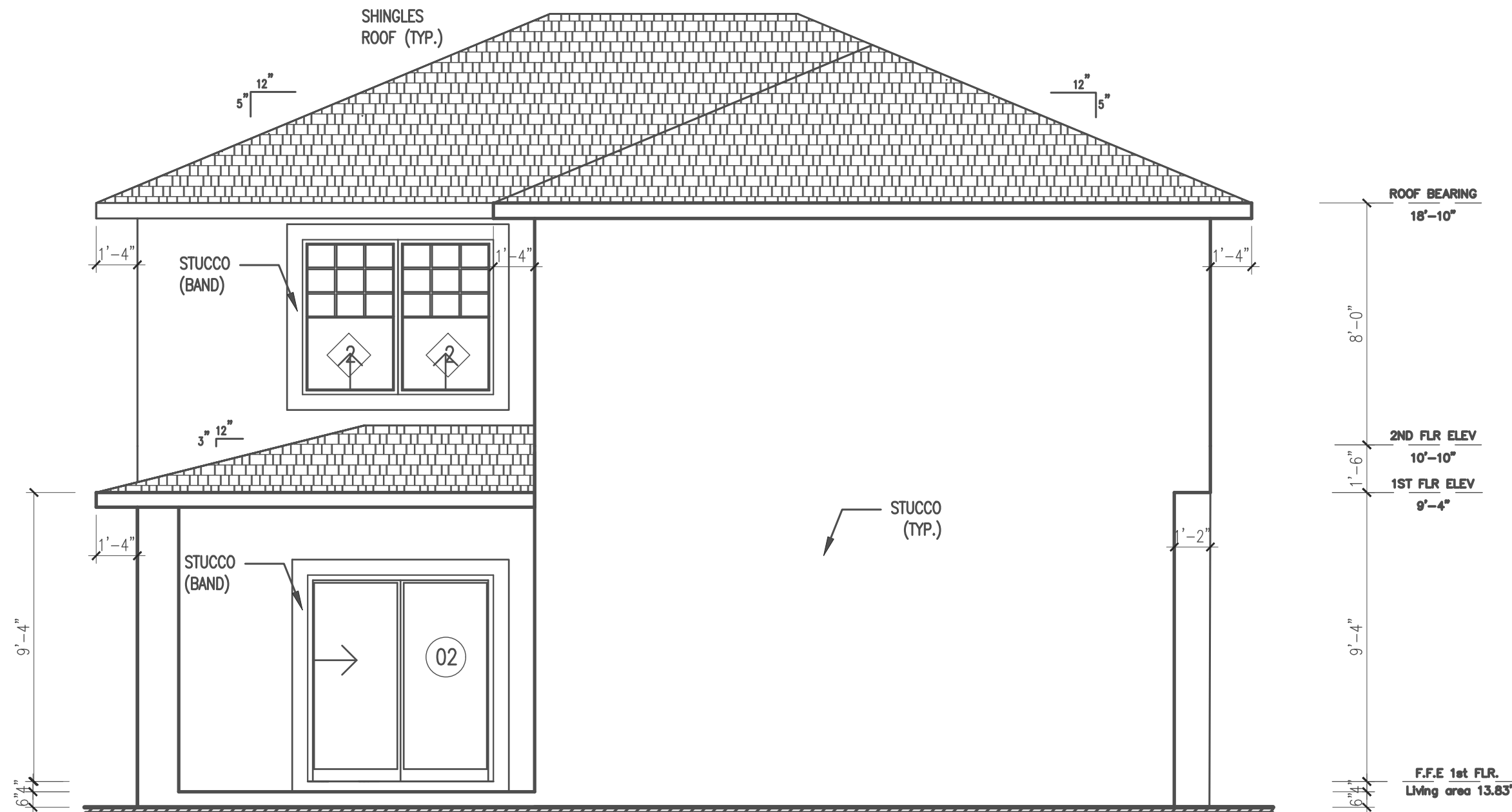
SOUTH ELEVATION

SCALE 1/8" = 1'-0"



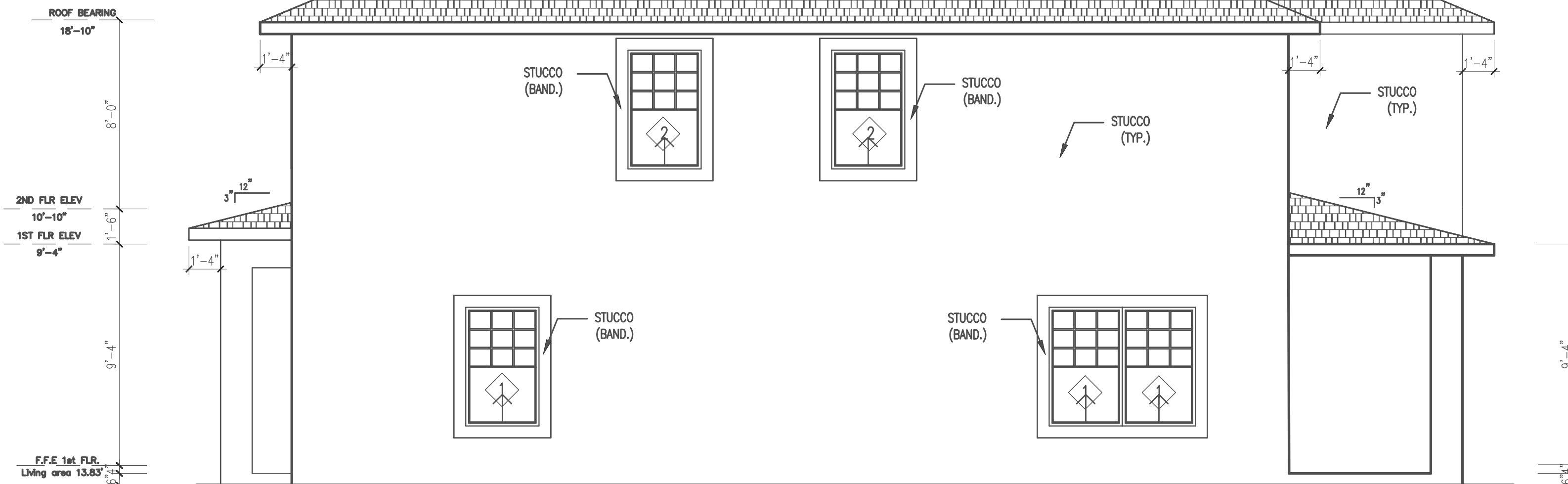
WEST ELEVATION

SCALE 1/8" = 1'-0"



NORTH ELEVATION

SCALE 1/8" = 1'-0"



EAST ELEVATION

SCALE 1/8" = 1'-0"

STUCCO WORK

R703.6 EXTERIOR PLASTER.
INSTALLATION OF THESE MATERIALS SHALL BE IN COMPLIANCE WITH ASTM C 926 AND ASTM C 1063.

R703.6.1. LATH.
ALL LATH AND LATH ATTACHEMENTS SHALL BE OF CORROSION-RESISTANT MATERIALS. EXPANDED METAL OR WOVEN WIRE LATH SHALL BE ATTACHED WITH 1 1/2" L. 11 GAGE NAILS HAVING 7/16" HEAD, 7/8" L 16 GAGE STAPLES, SPACED AT NO MORE THAN 6".

R703.6.2. PLASTER
PLASTERING WITH PORTLAND CEMENT PLASTE SHALL BE NOT LESS THAN THREE COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH AND SHALL BE NOT LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSURE-PRESERVATIVE TREATED WOOD OR DECAY-RESISTANT WOOD AS SPECIFIED IN SECTION R317-1 OR GYPSUM BACKING. IF THE PLASTER SURFACE IS COMPLETELY COVERED IT SHALL COMPLY WITH TABLE

R702.1(1)
ON WOOD FRAME CONSTRUCTION WITH AN ON-GRADE FLOOR SLAB SYSTEM, EXTERIOR PLASTER SHALL BE APPLIED TO COVER, BUT NOT EXTEND BELOW, LATH, PAPER AND SCREED. THE PROPORTION OF AGGREGATE TO CEMENTITIOUS MATERIALS SHALL BE SET FORTH IN TABLE R702.1(3)

R703.6.3 WATER-RESISTIVE BARRIERS.
WATER-RESISTIVE BARRIER SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER. THE INDIVIDUAL LAYERS SHALL BE INSTALLED INDEPENDENTLY SUCH THAT EACH LAYER PROVIDES A SEPARATE CONTINUOUS PLANE AND ANY FLASHING (INSTALLED IN ACCORDANCE WITH SECTION R703.8) INTENDED TO DRAIN TO THE WATER-RESISTIVE BARRIER IS DIRECTED BETWEEN THE LAYERS.

R703.6.2.1 WEEP SCREEDS
A MINIMUM 0.019" (No.26 GALV) SHEET GAGE) CORROSION RESISTANT WEEP SCREED OR PLASTIC, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 1/2" SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS IN ACCORDANCE WITH ASTM C 926. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4" ABOVE THE EARTH OR 2" ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE WEEP SCREED.

ROOFING WORK

R905.2.7 UNDERLAYMENT APPLICATION.
1. FOR ROOF SLOPES FROM TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (17% SLOPE), AND LESS THAN FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (33% SLOPE), UNDERLAYMENT SHALL COMPLY WITH ASTM, TYPE I OR TYPE II OR ASTM D 4869, TYPE I OR TYPE IV OR ASTM D 6757 AND SHALL BE TWO LAYERS APPLIED IN THE FOLLOWING MANNER, APPLY A 19" STRIP OF UNDERLAYMENT FELT PARALLEL TO AND STARTING AT THE EAVES, FASTENED SUFFICIENTLY TO HOLD IN PLACE. STARTING AT THE EAVE, APPLY 36" WIDE SHEETS OF UNDERLAYMENT, OVERLAPPING SUCCESSIVE SHEETS 19", AND FASTENED WITH A 1" ROUND PLASTIC CAP, METAL CAP NAILS OR NAILS AND TIN-TABS ATTACHED TO A NAILABLE DECK WITH TWO STAGGERED ROWS IN THE FIELD OF THE SHEET WITH A MAXIMUM FASTENER SPACING OF 12" O.C. AND ONE ROW AT THE OVERLAPS FASTENED 6" O.C. SYNTHETIC UNDERLAYMENT SHALL BE FASTENED IN ACCORDANCE WITH THIS SECTION AND THE MANUFACTURER'S RECOMMENDATIONS. END LAPS SHALL BE OFFSET BY 6".

2. FOR ROOF SLOPES OF FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (33% SLOPE) OR GREATER, UNDERLAYMENT SHALL WITH ASTM D 226, TYPE II OR ASTM D 4869, TYPE IV OR ASTM D 6757 AND SHALL BE ONE LAYER APPLIED IN THE FOLLOWING MANNER. UNDERLAYMENT SHALL BE APPLIED SHINGLE FASHION, PARALLEL TO AND STARTING FROM THE EAVE AND LAPPED 2". FASTENED WITH 1" ROUND PLASTIC CAP, METAL CAP NAILS OR NAILS AND TIN-TABS ATTACHED TO A NAILABLE DECK WITH TWO STAGGERED ROWS IN THE FIELD OF THE SHEET WITH A MAXIMUM FASTENER SPACING OF 12" O.C. AND ONE ROW AT THE OVERLAPS FASTENED 6" O.C. SYNTHETIC UNDERLAYMENT SHALL BE FASTENED IN ACCORDANCE WITH THIS SECTION AND THE MANUFACTURER'S RECOMMENDATIONS. END LAPS SHALL BE OFFSET BY 6".

3. AS AN ALTERNATIVE, THE ENTIRE ROOF DECK SHALL BE COVERED WITH AN APPROVED SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET MEETING ASTM D 1970 OR AN APPROVED SELF-ADHERING SYNTHETIC UNDERLAYMENT INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTION.

REV#	Tamp	DATE
CONSTRUCTION SERVICES DIVISION		
BLD-20-0473164	4/20/2020	
THIS SET OF PLANS MUST BE KEPT ON THE JOB AT ALL TIMES. It is unlawful to make changes or alterations without written approval from the City of Tampa Construction Services Division. The Stamping of this plan shall not be held to permit or approve the violation of any City or State Codes REVIEWED FOR CODE COMPLIANCE		

TWO STORY RESIDENCE
BUILDINGS ELEVATIONS AND NOTES

Project:
Sheet Contents:

MARK FORNEY, LLC
3501 W ELROD AVE TAMPA 33611

PETE ARCHITECTS, INC.
231-5800
1315 W. BUSCH BLVD
FL 33612
Tel: 813.661.6666
Lic # 8735

PLANS COMPLY WITH THE
FLORIDA BUILDING CODE 6TH
EDITION (2017)- RESIDENTIAL

Date: 08/22/2019

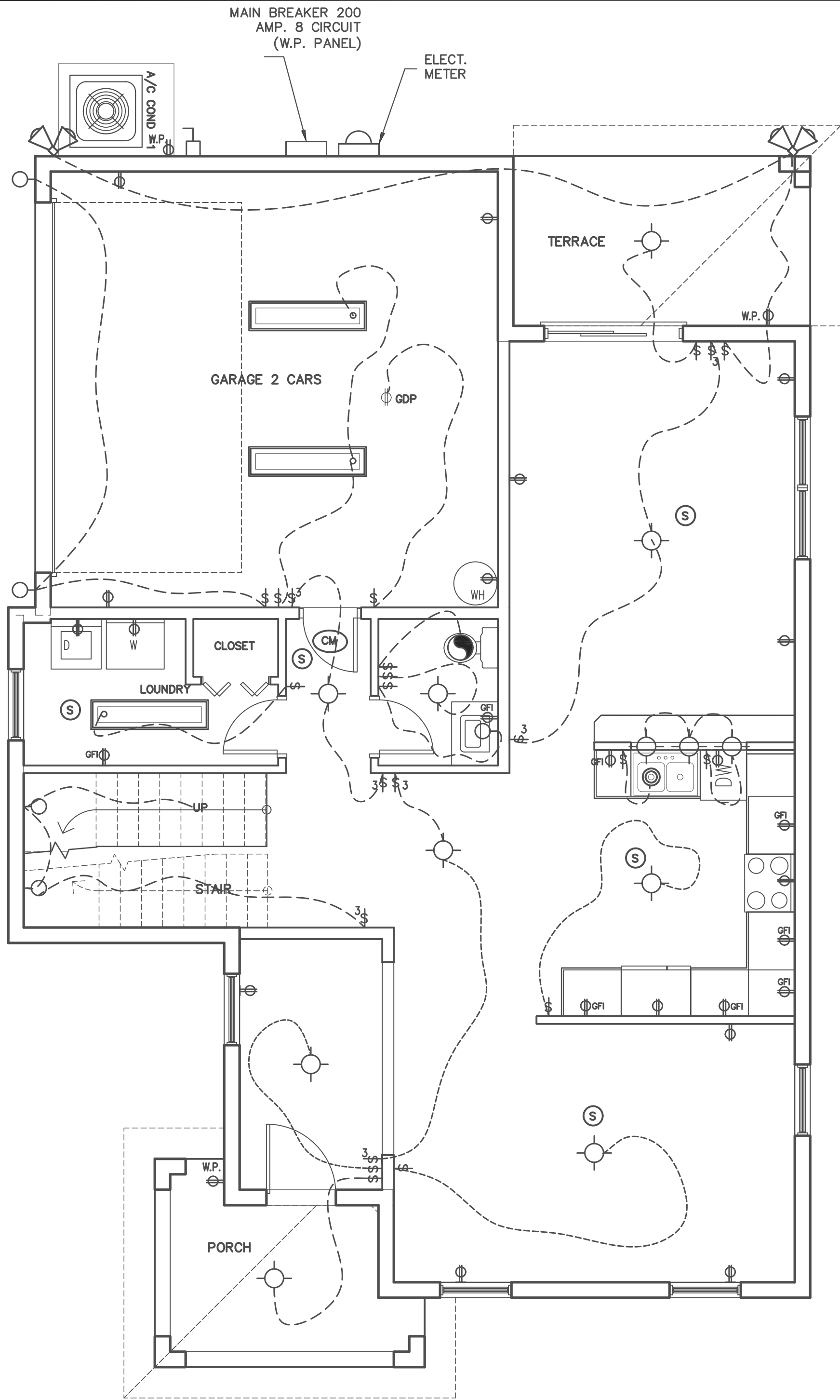
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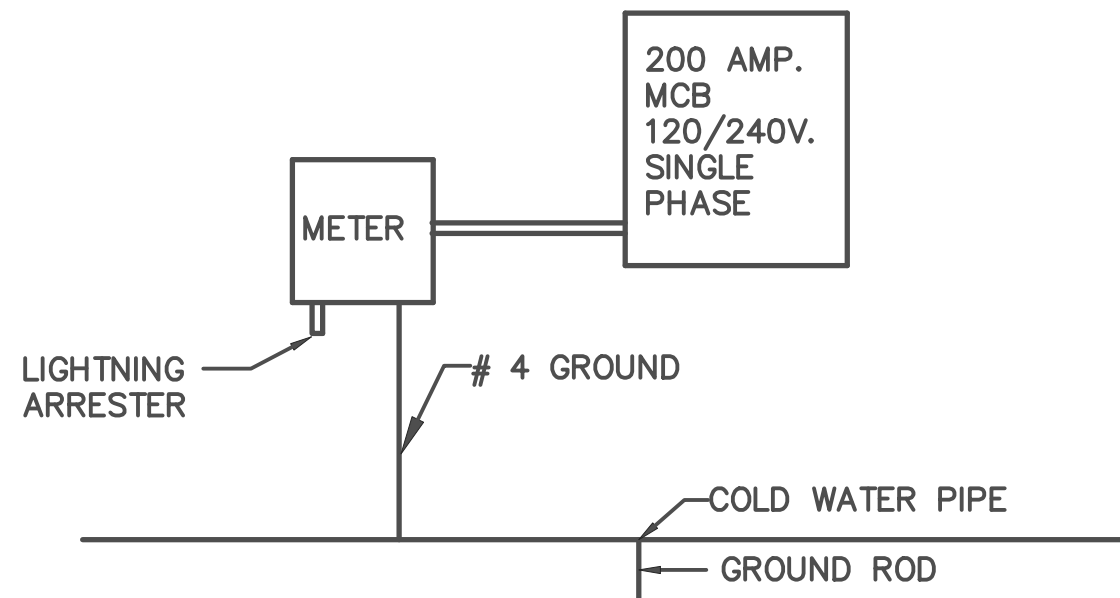
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FIRST FLOOR ELECTRICAL PLAN
SCALE 1/4"= 1'-0"



ELECTRICAL RISER DIAGRAM
N.T.S.

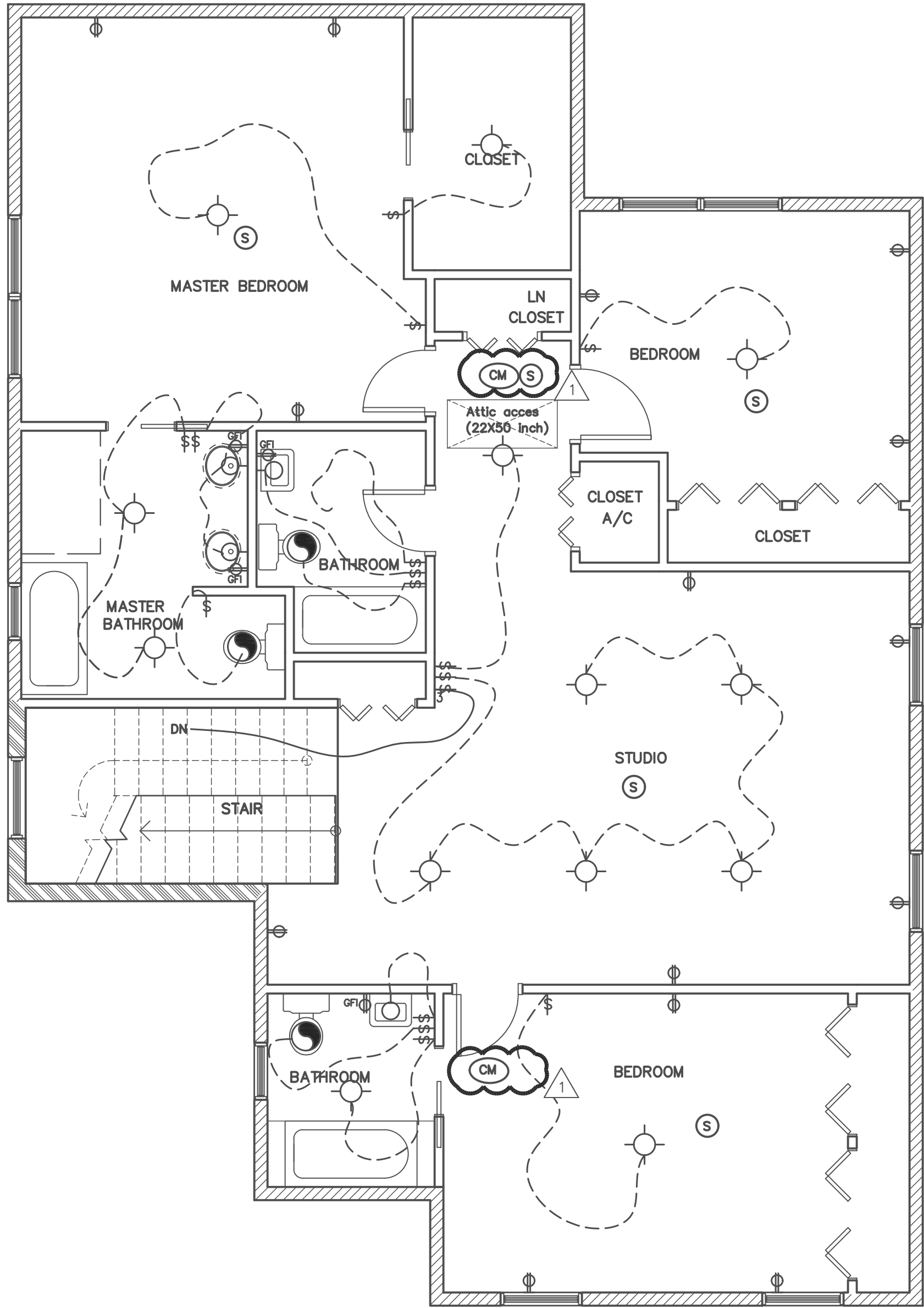
ELECTRICAL KEY

- | | | | |
|--|---|--|--|
| | CEILING MOUNTED LED CAN LIGHT FIXTURE | | EXHAUST FAN |
| | DUPLEX CONVENIENCE OUTLET | | SMOKE DETECTOR |
| | WEATHERPROOF DUPLEX OUTLET | | TELEPHONE |
| | GROUND FAULT INTERRUPTER DUPLEX OUTLET | | FLOURESCENT LIGHT |
| | 220 VOLT OUTLET | | GARBAGE DISPOSAL |
| | WALL SWITCH (DIMMERS AS SELECTED BY OWNER) | | FLOOD LIGHT |
| | THREE-WAY SWITCH | | CONDUIT AND WIRES, CONCEALED IN CEILING OR WALL. |
| | WALL MOUNTED INCANDESCENT LIGHT FIXTURE | | CHIMES |
| | CEILING MOUNTED INCANDESCENT RECESSED LIGHT FIXTURE | | CARBON MONOXIDE DETECTOR |
| | | | WEATHERPROOF LIGHT |

NOTE:

LIGHTS, OUTLETS, SWITCHES & ELECTRICAL ACCESSORIES TO BE APPROVED BY OWNER BEFORE ORDERING.

PROVIDE A BOX FOR FAN AT ALL BEDROOM WITH SEPARATE SWITCH FOR FAN AND LIGHT.



SECOND FLOOR ELECTRICAL PLAN
SCALE 1/4"= 1'-0"

ELECTRICAL NOTES

- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIRMENTS OF FLORIDA STATE STATUE (i.e.: LITHIUM BATTERY OPERATED SMOKE ALARMS) 553.883 BATTERY -POWERED SMOKE ALARMS MUST BE POWERED BY A NONREMOVABLE, NONREPLACEABLE BATTERY THAT POWERS THE ALARM FOR AT LEAST 10 YEARS.
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERUPTERS (G.F.I.) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ALL OUTLETS TO BE ON ARC FAULT CIRCUIT INTERRUPTER.
- UNLESS OTHERWISE INDICATED, INSTALL SWITCHES & RECEPTICALS AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR:
SWITCHES.....42"
OUTLETS.....14"
TELEPHONE.....14"
TELEVISION.....14"
- COORDINATE WITH OWNER FOR TYPE & LOCATION OF CAN LIGHT, FANS DIMMERS, SWITCHES, RECEPTACLES, PHONE LINES, TV CABLE, ETC.
- ELECTRICAL CONTRACTOR SHALL DESIGN, PROVIDE AND INSTALL COMPLETE ELECTRICAL SYSTEM AND RELATED COMPONENTS IN COMPLIANCE WITH N.E.C. AND ALL APPLICABLE LOCAL REGULATIONS.

REV# DATE
CONSTRUCTION SERVICES DIVISION
PLAN APPROVAL
BLD-20-047346H 4/20/2020
THIS SET OF PLANS MUST BE KEPT ON THE JOB AT ALL TIMES.
It is unlawful to make changes or alterations without written approval from the City of Tampa Construction Services Division.
The Stamping of this plan shall not be held to permit or approve the violation of any City or State Codes
REVIEWED FOR CODE COMPLIANCE

TWO STORY RESIDENCE ELECTRICAL PLANS AND NOTES

Project:

MARK FORNEY, LLC
3501 W ELROD AVE TAMPA 33611

Sheet Contents:



PLANS COMPLY WITH THE
FLORIDA BUILDING CODE 6TH
EDITION (2017)- RESIDENTIAL

Date: 08/22/2019

Scale: AS NOTED

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Job: --

Sheet: A-7

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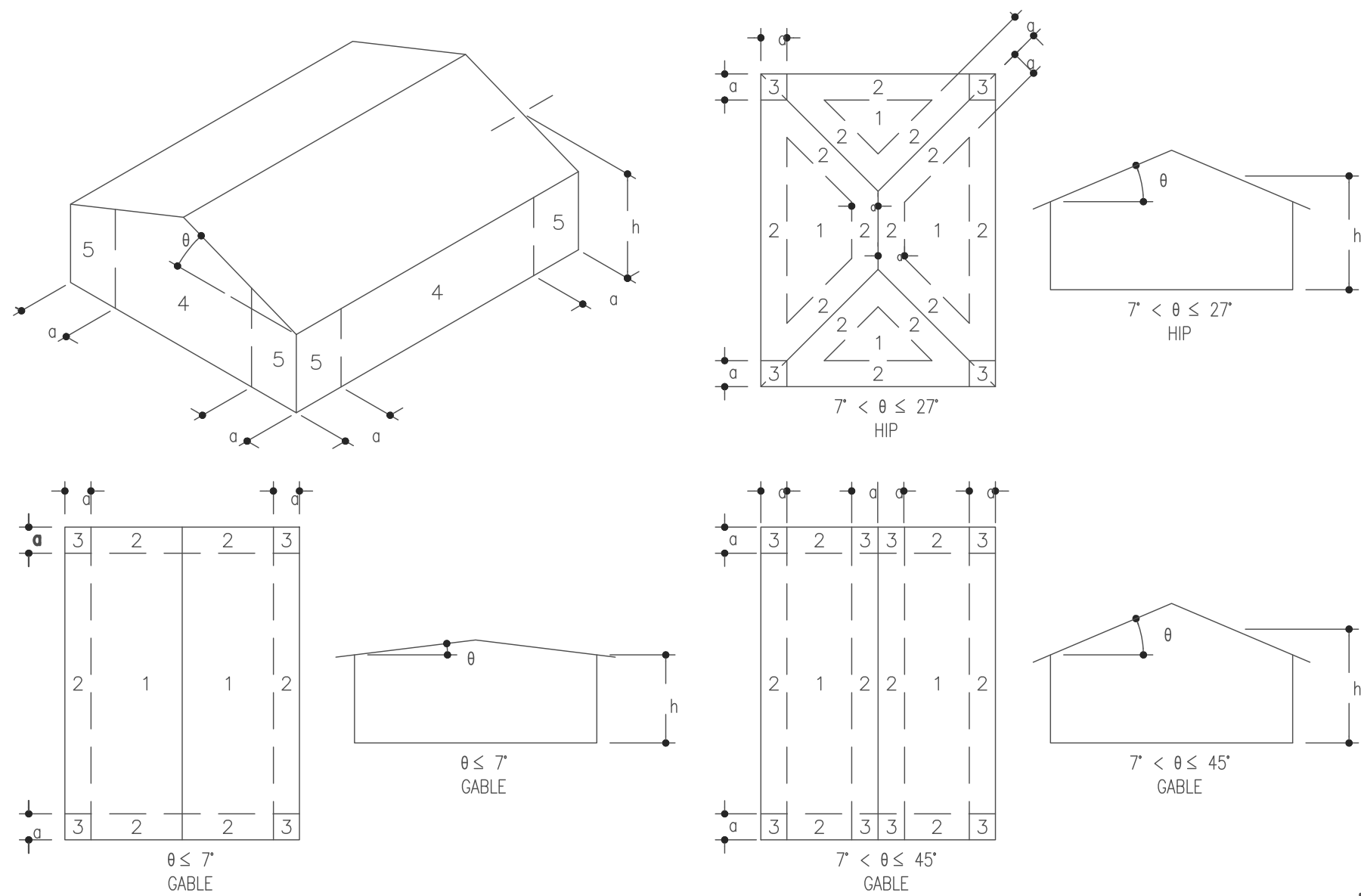
COMPONENT AND CLADDING WIND LOADS FOR A BUILDING WITH A MEAN ROOF HEIGHT UP TO 30 FT LOCATED IN EXPOSURE B WITH A BASIC WIND SPEED OF 145 MPH (3-SEC GUST)

ROOF ANGLE: 7° to 27°		
ZONE	EFFECTIVE WIND AREA (S.F.)	DESIGN WIND LOADS (PSF)
1 ROOF	10	+23.3 -37.0
	20	+21.3 -36.0
	50	+18.5 -34.6
	100	+16.5 -33.6
2 ROOF	10	+23.3 -64.5
	20	+21.3 -59.3
	50	+18.5 -52.5
	100	+16.5 -47.3
3 ROOF	10	+23.3 -95.4
	20	+21.3 -89.2
	50	+18.5 -81.0
	100	+16.5 -74.8
4 WALL	10	+40.5 -43.9
	20	+38.7 -42.1
	50	+36.2 -39.7
	100	+34.4 -37.8
5 WALL	10	+30.2 -33.6
	20	+28.7 -32.1
	50	+26.2 -29.7
	100	+24.4 -27.8

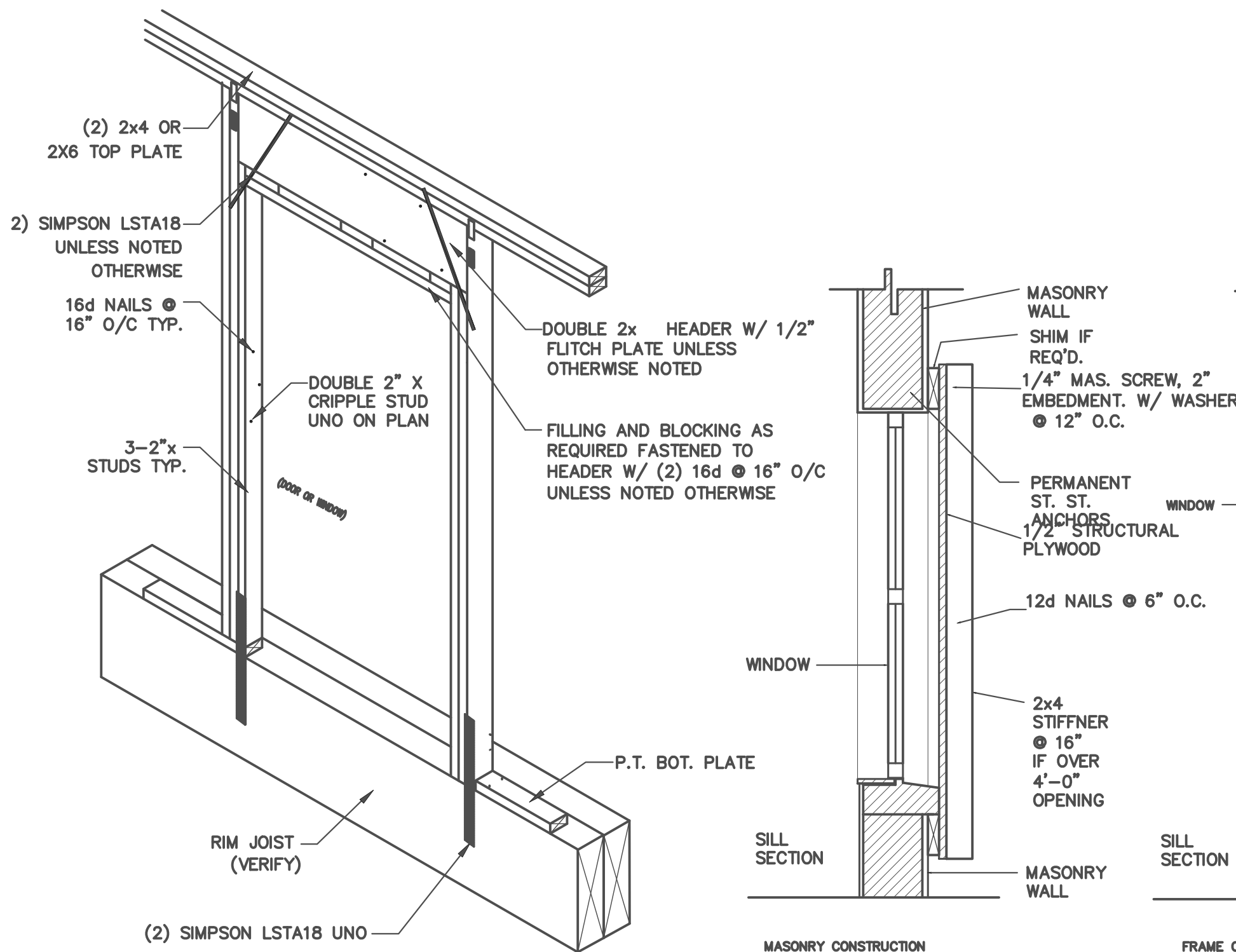
ROOF ANGLE: > 10°		
ZONE	EFFECTIVE WIND AREA (W x H)	DESIGN WIND LOADS (PSF)
GARAGE DOOR	9' x 7'	+35.6 -40.2
	16' x 7'	+34.1 -38.0

NOTES:

- 1 - FOR EFFECTIVE WIND AREAS BETWEEN THOSE GIVEN, THE WIND LOADS MAY BE INTERPOLATED. OTHERWISE USE THE LOAD ASSOCIATED WITH THE LOWER EFFECTIVE AREA.
- 2 - POSITIVE AND NEGATIVE NUMBERS SIGNIFY PRESSURE ACTING TOWARD AND AWAY FROM THE BUILDING SURFACES.



COMPONENT AND CLADDING LOADING DIAGRAMS
THE WIDTH OF THE EDGE STRIPS (a), AS SHOWN IN THIS FIGURE, SHALL BE 4'-0" IN ALL CASES



TYPICAL WALL FRAME OPENING
(LOAD BEARING WALL) NTS

TYP. TEMPORARY PLYWOOD SHUTTER FOR NEW WINDOWS
N.T.S.

TYP. TEMPORARY PLYWOOD SHUTTER FOR NEW WINDOWS
N.T.S.

WIND BORNE-DEBRIS AREA
GLAZED OPENING PROTECTION

DOOR LINTEL INFORMATION		
LINTEL DESCRIPTION	LINTEL SIZE	RE-BAR
L-1 2'-6"	4'-0"	1-#5
L-2 2'-6"	4'-0"	1-#5
L-3 2'-6"	4'-0"	1-#5
L-4 2'-6"	4'-0"	1-#5
L-5 2'-6"	4'-0"	1-#5
L-6 2'-6"	4'-0"	1-#5
L-7 2'-6"	4'-0"	1-#5
WINDOW LINTEL INFORMATION		
LINTEL DESCRIPTION	LINTEL SIZE	RE-BAR
L-16 1'-6"	2'-0"	1-#5
L-17 2'-2"	3'-6"	1-#5
L-18 2'-8"	4'-0"	1-#5
L-19 3'-2"	4'-0"	1-#5
L-20 4'-0"	5'-4"	1-#5
L-21 4'-6"	5'-10"	1-#5
L-22 5'-2"	6'-6"	1-#5
L-23 6'-2"	7'-6"	1-#5
L-24 8'-0"	9'-4"	1-#5
L-25 9'-2"	10'-6"	1-#5

MASONRY LINTEL SCHEDULE

2017 FBC 6th EDITION

R308.4

REQUIRED SAFETY GLAZING IN HAZARDOUS LOCATIONS

R308.4 HAZARDOUS LOCATIONS

- THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSE OF GLAZING:
1. GLAZING IN SWINGING DOORS AND FIXED AND SLIDING PANELS OF SLIDING (PATIO) DOOR ASSEMBLIES.
 2. GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1524 MM) ABOVE THE DRAIN INLET.
 3. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH (610 MM) RADIUS OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES (1524 MM) ABOVE THE FLOOR OR WALKING SURFACE.
 4. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE LOCATIONS DESCRIBED IN ITEMS 2 AND 3 ABOVE, THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 1. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQ. FT. (0.84 M SQ.).
 2. BOTTOM EDGE LESS THAN 18 INCHES (457 MM) ABOVE THE FLOOR.
 3. TOP EDGE GREATER THAN 36 INCHES (914 MM) HORIZONTALLY OF THE PLANE OF THE GLAZING.
 4. ONE OR MORE WALKING SURFACES WITHIN 36 INCHES (914 MM) HORIZONTALLY OF THE PLANE OF THE GLAZING.
 5. ALL GLAZING IN RAILING REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE INCLUDING STRUCTURAL BALUSTER PANELS AND NON STRUCTURAL IN-FILL PANELS.
 6. GLAZING IN WALLS AND FENCES ENCLOSING INDOOR AND OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EDGE OF THE GLAZING IS 1) LESS THAN 60 INCHES (1525 MM) ABOVE THE WALKING SURFACE ON THE POOL SIDE, AND 2) WITHIN 36 INCHES (914 MM) HORIZONTALLY OF THE WALKING SURFACE ON THE POOL SIDE. THIS SHALL APPLY TO SINGLE GLAZING AND ALL PANES IN MULTIPLE GLAZING.

2"x 4" COLUMNS W/ (1) ROW OF STAGGERED 16d COMMON WIRE NAILS (D = 0.162", L = 3 1/2")

2"x 6" OR 2"x 8" COLUMNS W/ (2) ROWS OF STAGGERED 16d COMMON WIRE NAILS (D = 0.162", L = 3 1/2")

- NOTES:
- 1) ADJACENT NAILS ARE DRIVEN FROM OPPOSITE SIDES OF THE COLUMN
 - 2) ALL NAILS PENETRATE AT LEAST 3/4 OF THE THICKNESS OF THE LAST LAMINATION
 - 3) FOR 3-PLY, COLUMN SHALL BE NAILED AS SHOWN FROM EACH SIDE (ONE INTO EACH OUTSIDE FACE OF B.U.C., SAME NUMBER OF ROWS, SAME SPACING)

- 4) FOR 4-PLY, PROVIDE 1/4" DIA. x 5 1/2" LAG SCREWS OR EQUAL (SPACE AS SHOWN FOR 3-PLY)
- 5) FOR 5-PLY, PROVIDE 1/4" DIA. x 7" LAG SCREWS OR EQUAL (SPACE AS SHOWN FOR 3-PLY)
- 6) REFER TO NDS SECTION 15.3 FOR ADDITIONAL INFORMATION

JACK POST NAILING
NOT TO SCALE

SHEATHING AND NAILING SCHEDULE			
AREA	SHEATHING	NAIL SIZE	SPACING
FLOORS	23/32 (3/4") STURD T&G GLUED EXP-1	10d SPIRAL OR RING SHANK	6" O/C EDGES 6" O/C FIELD
* WALLS	15/32 (1/2") EXP-1 MINIMUM 4 PLY	8d COMMON	4" O/C EDGES 12" O/C FIELD
ROOF	15/32 (1/2") EXP-1 4 PLY MINIMUM	8d COMMON	6" O/C EDGES 6" O/C FIELD ** 4" O/C

NOTES:

- * WALLS ARE TO HAVE BLOCKING AT ALL PANEL EDGES
- * WALL SHEATHING IS TO BE NAILED INTO BOTH TOP PLATES (2-ROWS @ 4" O/C)

OPTIONAL OSB STRUCTURAL

- ** NAIL ROOF @ 4" O/C WITHIN 48" OF ALL ROOF EDGES AND HIPS

GENERAL NOTES & SPECIFICATIONS.

DESIGN CRITERIA

1. FLORIDA RESIDENTIAL BUILDING CODE 2017, 6th. EDITION INCLUDING ALL AMMENDMENTS HERETO
2. DESIGN WIND SPEED SEC 1609.4.3 = 145 MPH, WIND IMPORTANCE FACTOR = 1.0
3. WIND EXPOSURE CATEGORY = B. INTERNAL PRESSURE COEFFICIENT = + 0.18 & - 0.18
4. EXTERIOR COMPONENTS AND CLADDING MATERIALS DESIGN WIND PRESSURE = 52.4 psf.
5. DEAD LOAD ROOF = 20 psf. (WEIGHTS OF MATERIALS) --- LIVE LOAD 20 psf.
6. LIVE LOAD FLOOR = 40 psf
ATTICS W/ STORAGE = 20 PSF W/O STORAGE = 10 PSF
7. SOIL BEARING CAPACITY ASSUMED TO BE MINIMUM OF 2000 PSF.
8. THE OWNER / CONTRACTOR SHOULD VERIFY BEARING CAPACITY AND SOIL

SHALL FOLLOW SOIL ENGINEER'S RECOMMENDATIONS).

CONDITION . (SOIL INVEGTIGATION & REPORT SHALL BE PERFORMED AND THE CONTRACTOR FOUNDATION / SLAB ON GRADE

1. COMPACT SOIL AND TEST FOOTING AND SLAB AREAS TO MEET 98% OF MAXIMUM DENSITY BASED ON THE PROCTOR TEST, ASTM D 1557-91
2. SLAB ON GRADE TO BE 4" MINIMUM, REINFORCED W/ 6X6-WI.4XW1.4 WWF (10X10) CENTERED WITHIN SLAB OVER 5 MILL PLASTIC ON SELECTED TERMITE TREATED COMPACTED FILL.

CONCRETE

1. ALL CONCRETE DESIGN AND PLACEMENT SHALL BE IN STRICT ACCORDANCE WITH ACI-318 AND ACI-301
2. ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF $f'_c = 3000$ PSI AT 28 DAYS.
3. AGGREGATE / SLUMPS
FOOTING / SOG 4" SLUMP ASTM #57 AGG.
FILLED CEMENT 8" SLUMP ASTM #89 PEAROCK
4. REINFORCING STEEL SHALL BE NEW DEFORMED BARS CONFORMING TO ASTM A-615, GRADE 60 MINIMUM.
5. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185
6. LAP CONTINUOUS REINFORCEMENT - 40 X BAR DIAMETER. (#5 = 25")
7. MINIMUM CONCRETE COVER AS FOLLOWS:
 - FOOTINGS 3"
 - SLABS T&B 3/4"
 - COLUMNS, WALLS 1-1/2"
8. DRILL & EPOXY REBAR WITH EPOXY RESIN ADHESIVE (ASTM C-881-90) SIKADUR HI-MOD OR EQUAL.
HOLE SIZE = DIAMETER + 1/4" /HOLE DEPTH = 15 X DIAMETER.

MASONRY

1. MASONRY CONSTRUCTION SHALL CONFORM TO "ACI-305 AND ACI-531"
2. USE TYPE "S" MORTAR IN ACCORDANCE WITH ASTM C 270, MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI.
3. MASONRY UNITS SHALL BE NORMAL WEIGHT AND CONFORM TO ASTM C90 WITH A MINIMUM COMPRESSIVE STRENGTH OF $f'_m = 1500$ PSI.
4. GROUT SHALL BE A MINIMUM $f'_c = 3000$ PSI WITH MAXIMUM AGGREGATE SIZE OF 3/8" PLACED AT 8 TO 11" SLUMP. TEST IN ACCORDANCE WITH ASTM C 1019
5. JOINT REINFORCEMENT SHALL BE GALVANIZED 9 GAGE LADDER TYPE DUR-O-WALL (OR EQUAL), AT 16" O/C, IN ACCORDANCE WITH ASTM A82
6. CLEANOUT OPENINGS SHALL BE PROVIDE FOR GROUT POURS OVER 5 FT. FILL SOLID WITH GROUT ALL CMU CELL BELLOW SLAB
7. CARPENTRY

1. WOOD CONSTRUCTION, CONNECTIONS AND NAILING REQUIREMENTS SHALL CONFORM TO THE " FLORIDA BUILDING CODE (2017 6th.. EDITION)". REFERENCE FASTENING SCHEDULE TABLE 2304.10.1
2. LUMBER
BEARING WALL, FLOOR AND ROOF FRAMING--SHALL BE A MINIMUM No.2 SOUTHERN PINE E=1600,000 PSI GRADE MARKED.
WALL FRAMING--SHALL BE A MINIMUM No.2 S-P-F E=1,400,000 PSI GRADE MARKED.
3. PLYWOOD: SHALL BE APA GRADED, TRADEMARK LEGIBLY MARKED. WALL AND ROOF SHEATHING SHALL BE (MINIMUM 4 PLY), SPAN RATING 24/16, EXP.
4. ALL SHEATHING SHALL BE NAILED (STAPLES NOT ALLOWED).
5. USE PRESSURE TREATED LUMBER WHEREVER IN CONTACT WITH MASONRY OR STEEL.
6. SEE SHEATHING AND NAILING SCHEDULE.
7. CONNECTORS TO BE SIMPSON, UNLESS NOTED OTHERWISE.
8. ALL PLUMBING, ELECTRICAL AND MECHANICAL ROUGH-INS MUST BE COMPLETED, INSPECTED AND APPROVED BEFORE REQUESTING THE FRAMING INSPECTION.

PREFABRICATED WOOD TRUSSES

1. SHALL COMPLY WITH N.F.P.A. "NATIONAL SPECIFICATIONS FOR WOOD CONSTRUCTION" AND WITH THE : TPI DESIGN SPECIFICATION FOR METAL PLATE CONNECTED WOOD TRUSSES" SUBMIT SHOP DRAWINGS AND CALCULATIONS INDICATING DESIGN SPEED, HEIGHT ABOVE GROUND, NET UPLIFT LOADS AT BEARING POINTS, AND ALL PERMANENT AND TEMPORARY BRACING, SHOP DRAWINGS AND CALCULATIONS ARE TO BE SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER. TRUSSES SHALL BE DESIGNED FOR THE DEAD LOAD OF THE ROOF SYSTEM PLUS A TOP CHORD LIVE LOAD OF 30 PSF MINIMUM.
2. IF THE NET UPLIFT FORCES SHOWN ON THE FINAL ENGINEERED TRUSS CALCULATIONS ARE GREATER THAN THE CAPACITY OF THE CONNECTORS SHOWN ON PLAN, THE CONTRACTOR SHALL SUPPLY CONNECTORS TO MEET THOSE UPLIFT FORCES AS A MINIMUM.

MISCELLANEOUS NOTES

1. THE GENERAL CONTRACTOR SHALL REVIEW ALL DOCUMENTS AND EXISTING FIELD CONDITIONS PRIOR TO THE START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER OR ARCHITECT.
2. THE GENERAL CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKERS AND ALL UTILITIES DURING CONSTRUCTION, I.E. SHORING, BRACING, TEMPORARY ENCLOSURES, WATER PROOFING ETC.
3. - ROOFING WORK TO BE IN COMPLIANCE WITH FBC R905.2

PRODUCT APPROVAL				
PRODUCT CATEGORY	SUBCATEGORY	MANUFACTURER	APPROVAL No.	NOTES
WINDOWS	SINGLE HUNG	MI WINDOWS AND DOORS	FL-197499.2	185 SH ALUMINUM 52"x72" (MAX) INSULATED LAMINATED IMPACT GLASS
			FL5891.4	3'0" x 8'0" OPAQUE FIBERGLASS SINGLE DOOR - FRONT ENTRY DOOR
			FL5891.1	3'0" x 6'8" OPAQUE FIBERGLASS SINGLE DOOR - REAR DOOR & GARAGE ENTRY DOOR
			FL7630.4	6'0" x 8'0" IMPACT GLAZED FIBERGLASS DOUBLE DOOR (ENTRY)
EXTERIOR DOORS	SWINGING	THERMA-TRU CORP.	FL7347.4	6'0" x 6'8" IMPACT GLAZED FIBERGLASS DOUBLE DOOR (PATIO)
			FL-194170.5	SERIES 170 WS7, 9' WIDE (MAX) GARAGE DOOR
			FL-194170.10	SERIES 170 180WL WS7, 16' WIDE (MAX) GARAGE DOOR
			FL21179	VINYL SLIDING GLASS DOOR
ROOFING	ASPHALT SHINGLES	GAF MATERIALS CORP.	FL-190124.1	FIBERGLASS REINFORCED 3-TAB, LAMINATED, 5-TAB AND HIP/RIDGE ASPHALT SHINGLES
			FL21580-R1	LOW PROFILE, OFF-RIDGE ROOF VENT FOR PITCHED ROOFS FABRICATED FROM 26 GAUGE, G-90 PRIMED, GALVANIZED STEEL
ROOFING	roofing accessories that are an integral part of the roofing system	Florida Metal Products Inc.	FL-192019.1	ALUMINUM SOFFIT AL3105 & ALUMINUM FASCIA AL3105-H14
			FL-192019.1	ALUMINUM SOFFIT AL3105 & ALUMINUM FASCIA AL3105-H14
STRUCTURAL COMPONENTS	WOOD CONNECTORS & ANCHORS	SIMPSON STRONG-TIE CO.	FL-191473.3	HETA EMBEDDED TRUSS ANCHOR
			FL-191473.17	META EMBEDDED TRUSS ANCHOR
			FL-191473.19	MSTAM, MSTCM STRAP TIE FOR MASONRY
			FL-191478.4	H10A HURRICANE TIE
			FL-190852.9	MSTA STRAIGHT STRAP
			FL-190852.4	LSTA STRAIGHT STRAP
			FL-190456.41	SP1 STUD PLATE TIE
			FL-190456.42	SP2 STUD PLATE TIE
			FL-190852.11	MSTC STRAIGHT STRAP
			FL-1958.1	PRECAST & PRESTRESSED CONC. LINTELS

REV#	Tamp-DATE
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TWO STORY RESIDENCE
ESPECIFICATIONS AND DETAILS

Project: Mark Forney, LLC
Sheet: 01 of 10

3501 W ELROD AVE TAMPA 33611
PH: 813

PETE ARCHITECTS, INC.
231-5800
1315 W. BUSCH BLVD
FL 33612
Tel: 813-666-1666
Fax: 813-666-1666
Lic # 8735

PLANS COMPLY WITH THE
FLORIDA BUILDING CODE 6TH
EDITION (2017)- RESIDENTIAL

Date: 01/08/2020

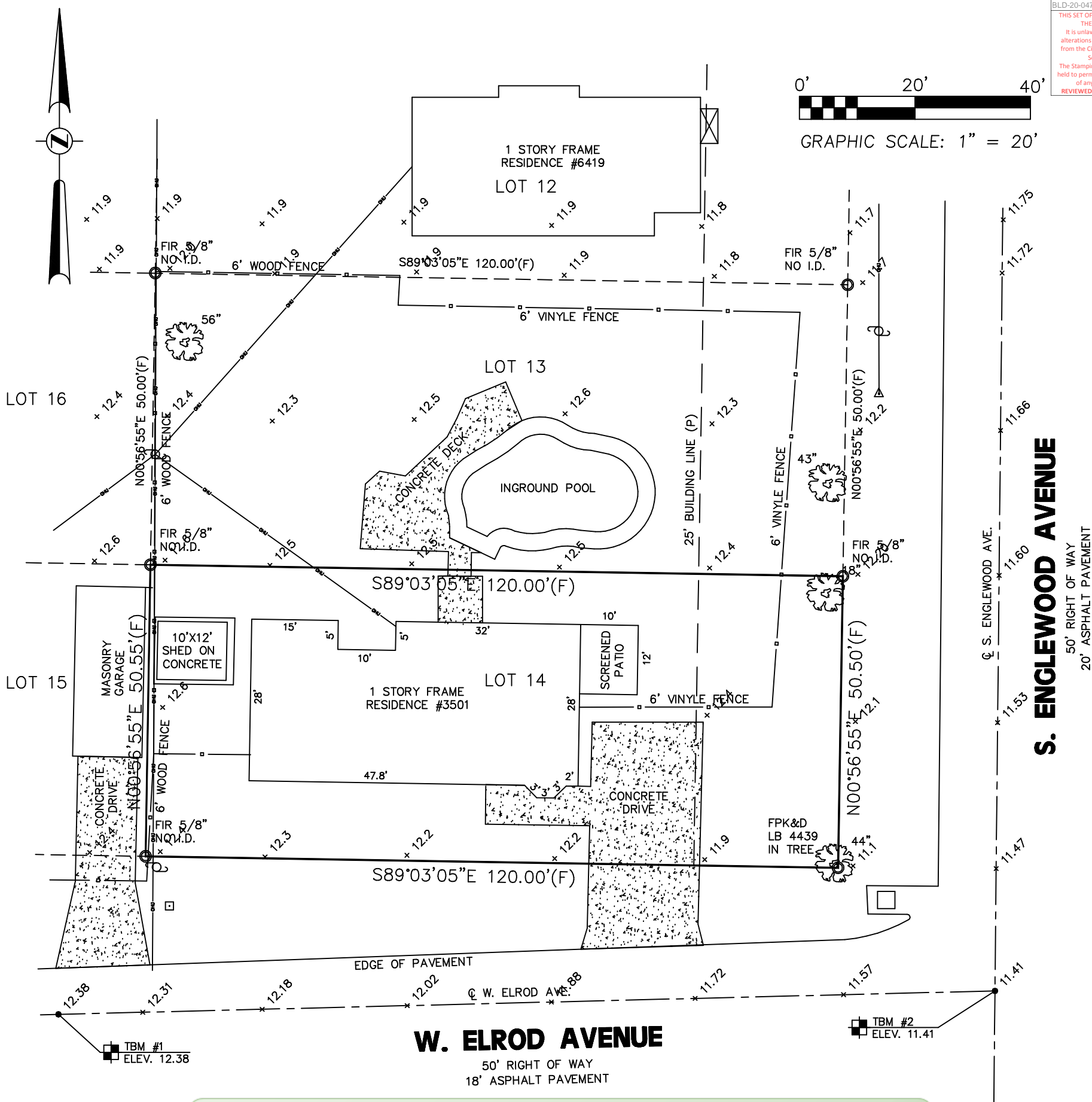
Scale: AS NOTED

Drawn: D.O

Job: --

Sheet: A-8

8 of 8



APPROVED
By Jackie Hartley at 4/14/2020 5:46:30 PM

SURVEYOR'S NOTES:

- 1) BEARINGS ARE BASED ON THE EAST BOUNDARY LINE OF LOTS 13 & 14, BLOCK 13, CRESCENT PARK, SAID LINE BEARS N.00°56'55"E. ASSUMED.
- 2) NO UNDERGROUND UTILITIES, FOUNDATIONS OR ENCROACHMENTS WERE LOCATED EXCEPT AS SHOWN. NO DIGGING, PROBING, EXCAVATING BY HAND OR MACHINE OR SUBSURFACE EXPLORATION FOR ANY IMPROVEMENTS WAS PERFORMED FOR THIS SURVEY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED.
- 3) THE SURVEY SHOWN HEREON WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND WITHOUT HAVING SEARCHED THE PUBLIC RECORDS OF THE COUNTY IN WHICH THE PROPERTY IS LOCATED; THEREFORE, THE UNDERSIGNED MAKES NO GUARANTEES, WARRANTIES OR REPRESENTATIONS REGARDING INFORMATION AS SHOWN HEREON PERTAINING TO APPROXIMATE PROPERTY LINES, EASEMENTS, RIGHTS-OF-WAY, SETBACK LINES, AGREEMENTS, RESERVATIONS AND OTHER SIMILAR MATTERS.
- 4) ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- 5) THE ABOVE DESCRIBED PARCEL APPEARS TO BE LOCATED IN ZONE "X" ACCORDING TO FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD RATE MAP NUMBER 12057C0457H, MAP REVISED DATE 8/28/2008. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THESE FLOOD ZONE.
- 6) ELEVATION SHOWN HEREON ARE BASED UPON CITY OF TAMPA VERTICAL CONTROL BENCH MARK "HV-02-0451", WITH A PUBLISHED ELEVATION OF 11.593 FEET, NAVD 1988 DATUM.

- (P) PER RECORD PLAT
(F) FIELD MEASUREMNET
FIPP FOUND IRON PINCH PIPE
FIR FOUND IRON ROD
UTILITY POLE
OHU OVERHEAD UTILITIES
VERIZON PULL BOX
OAK TREE & DBH

LEGAL DESCRIPTION:

LOT 14, BLOCK 13, CRESCENT PARK, ACCORDING TO THE PLAT THERE AS RECORDED IN PLAT BOOK 17, PAGE 20, OF THE PUBLIC RECORDS OF HILLSBOROUGH COUNTY FLORIDA.

Thomas
Monaweck

MONAWECK
#4303
2020.03.02

JRE AND THE ORIGINAL RAISED
BENCH MARK
07:32:58

DATE OF LAST FIELD WORK 7/12/18
-05'00'

BOUNDARY, TOPOGRAPHIC & TREE SURVEY



THOMAS J. MONAWECK, PSM

RESIDENTIAL, COMMERCIAL, FLOOD ELEVATIONS, SUBDIVISION PLATTING,
BOUNDARY, CONSTRUCTION & TOPOGRAPHIC SURVEY SERVICES
13210 TIFTON DRIVE
TAMPA, FLORIDA 33618
TELEPHONE (813) 240-6823
MONAWECKSURVEYING@GMAIL.COM

DRAWN BY: T.J.M.	DATE: 7/12/18
CHECKED BY: T.J.M.	DATE: 7/12/18
FIELD BOOK: n/a	PAGE: N/A
SCALE: 1"= 20'	P.C. T.J.M.
W.O. NUMBER	SHEET OF
18055.00	1 1

PREPARED FOR: COASTAL ACQUISITION PARTNERS, LLC
1501 S. DALE MABRY HWY.
SUITE A-1
TAMPA, FL. 33611

REVISIONS

DATE

BY