



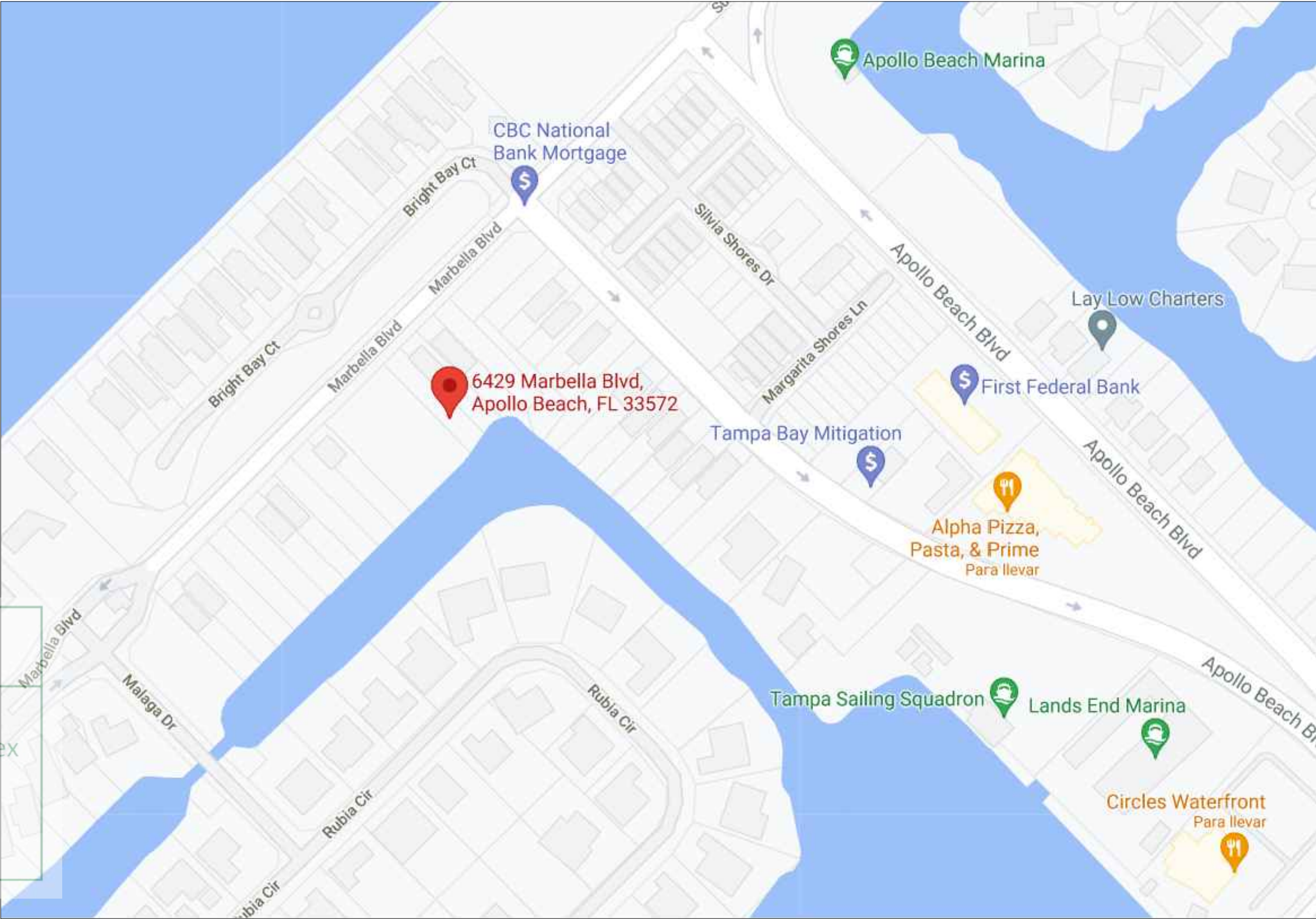
TWO STORY RESIDENCE

6429 MARBELLA BLVD

APOLLO BEACH, FL 33572

LEGAL DESCRIPTION:
LOT 11, "APOLLO KEY VILLAGE", ACCORDING TO
THE PLAT THEREOF AS RECORDED IN PLAT
BOOK 78, PAGE(S)
RECORDS OF HILLSBOROUGH COUNTY,

Sheet List Table	
Sheet Number	Sheet Title
A-0	FRONT PAGE
A-1	SITE PLAN NOTES & DETAILS
A-2	FOUNDATION PLAN NOTES & DETAILS
A-3	FLOOR PLAN NOTES & DETAILS
A-4	FRAMING ROOF PLAN NOTES
A-4.1	FRAMING ROOF DETAILS PLAN
A-5	BUILDING SECTIONS
A-6	BUILDING ELEVATION & NOTES
A-6.1	BUILDING ELEVATION & NOTES
A-7	ELECTRIC PLAN & NOTES
A-8	SPECIFICATIONS



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by Mario A Parra
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00006786,
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Parra
Date: 2021.11.23
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NEW RESIDENCE

PROJECT:

FRONT PAGE

CONTENT:

REV	DATE
	10/05/2021

OWNER:

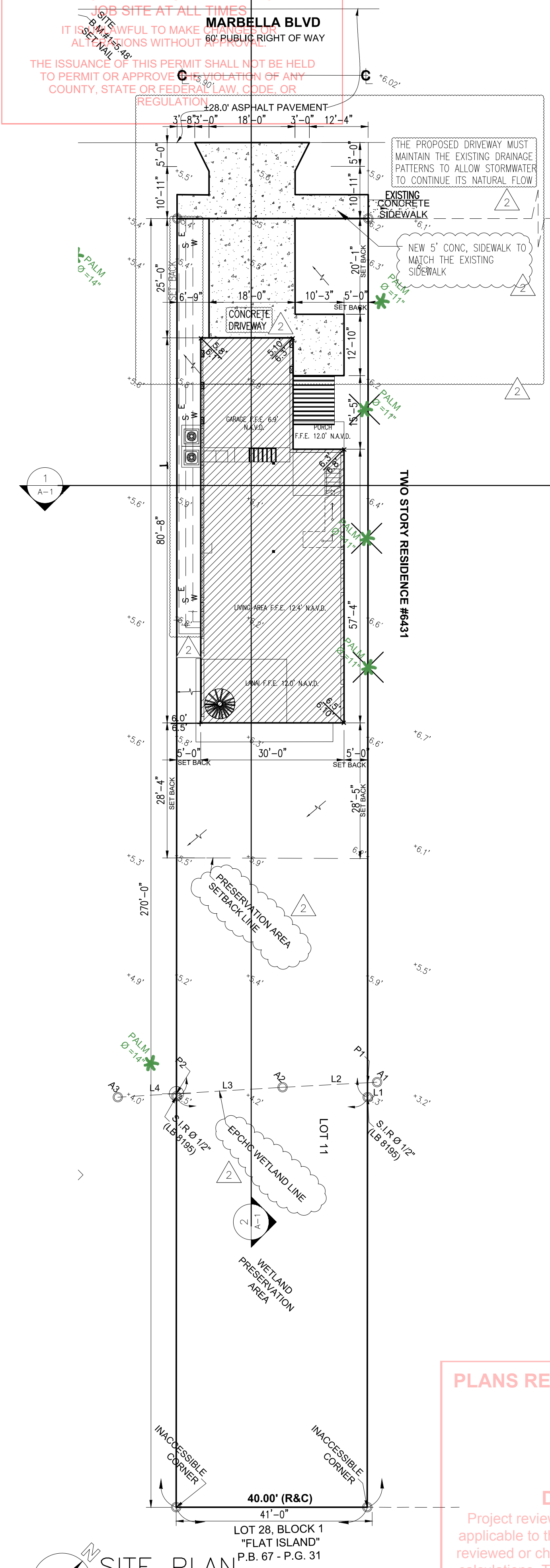
ADDRESS: 6429 MARBELLA BLVD
APOLLO BEACH, FL 33572

PLANS COMPLY WITH THE FLORIDA BUILDING CODE 7TH EDITION (2020)- RESIDENCE

Date:	08/03/2021
Scale:	AS NOTED
Drawn:	D.O
Job:	--
Sheet:	A-0
	0 or 8

MARIO A. PARRA, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 41142, THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY MARIO A. PARRA, P.E. USING A SHA AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

HILLSBOROUGH COUNTY
PLANS REVIEWED FOR CODE COMPLIANCE
APPROVED
HC-BLD-21-0022816 5/11/2022
THIS SET OF PLANS MUST BE KEPT ON THE
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IT IS UNLAWFUL TO MAKE ANY ALTERATIONS WITHOUT THE ISSUANCE OF THIS PERMIT SHALL NOT BE HELD TO PERMIT OR APPROVE THE VIOLATION OF ANY COUNTY, STATE OR FEDERAL LAW, CODE, OR REGULATION



LEGAL DESCRIPTION:

LEGAL DESCRIPTION:
LOT 11, "APOLLO KEY VILLAGE", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 78, PAGE(S) RECORDS OF HILLSBOROUGH COUNTY, FLORIDA.

ADDRESS 6429 MARBELLA BLVD,
APOLLO BEACH, FL 33572

AREA:

LOT:	10,800 S.F.
LIVING AREA FIRST FLOOR	1,270 S.F.
LIVING AREA SECOND FLOOR	1,724 S.F.
TOTAL LIVING AREA	2994 S.F.
GARAGE	501 S.F.
PORCH	57 S.F.
LANAI	400 S.F.
SECOND FLOOR BALCONY	240 S.F.
SECOND FLOOR TERRACE	367 S.F.
TOTAL BUILDING	4,559 S.F.
TOTAL FIRST FLOOR	2,228 S.F.

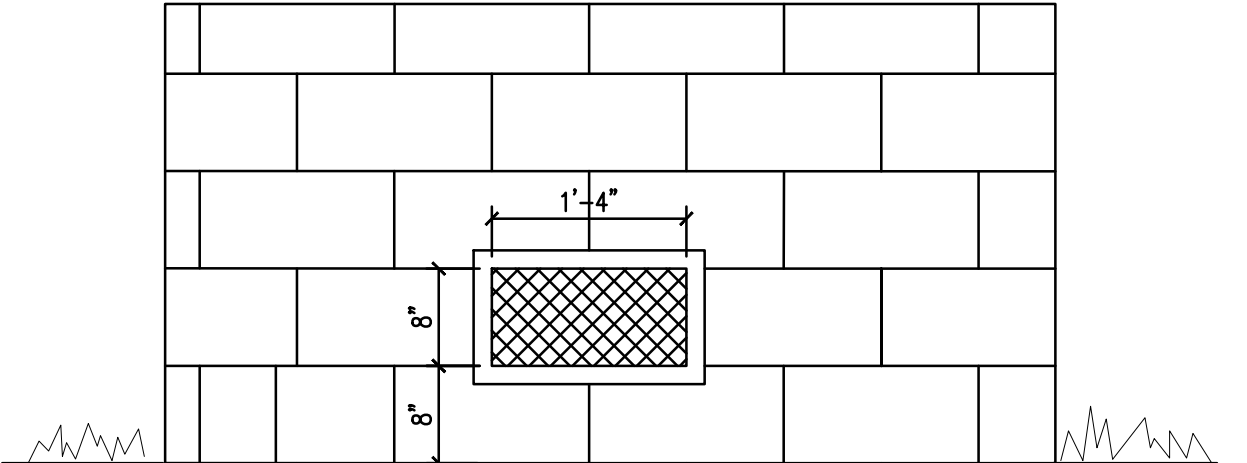
DRIVE/WALK/PADS=807 S.F
TOTAL IMPERVIOUS=2228 S.F + 807 = 3035 S.F.
=3035 S.F./10800=28%

BUILDING DATA:
TWO STORY RESIDENCE
CONSTRUCTION TYPE = VB
STEMWALL FOUNDATION (SLAB ON GRADE)

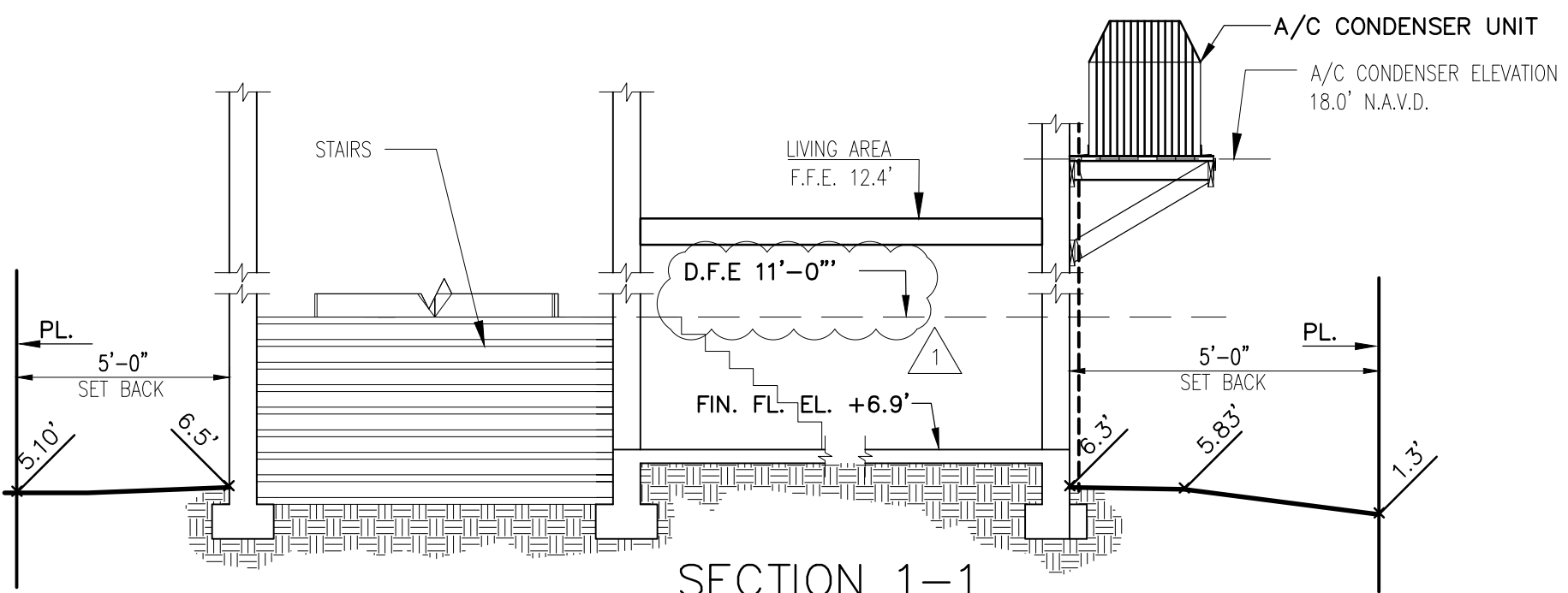
NOTE
CONCRETE DRIVEWAY & WALKS WILL BE CONSTRUCTED ON TOP OF GRADE WITH NO ROOT DISTURBANCE TO PROTECT ADJACENT TREES.
SOIL BEARING CAPACITY ASSUMED TO BE MINIMUM OF 2000 PSF.

LEGEND

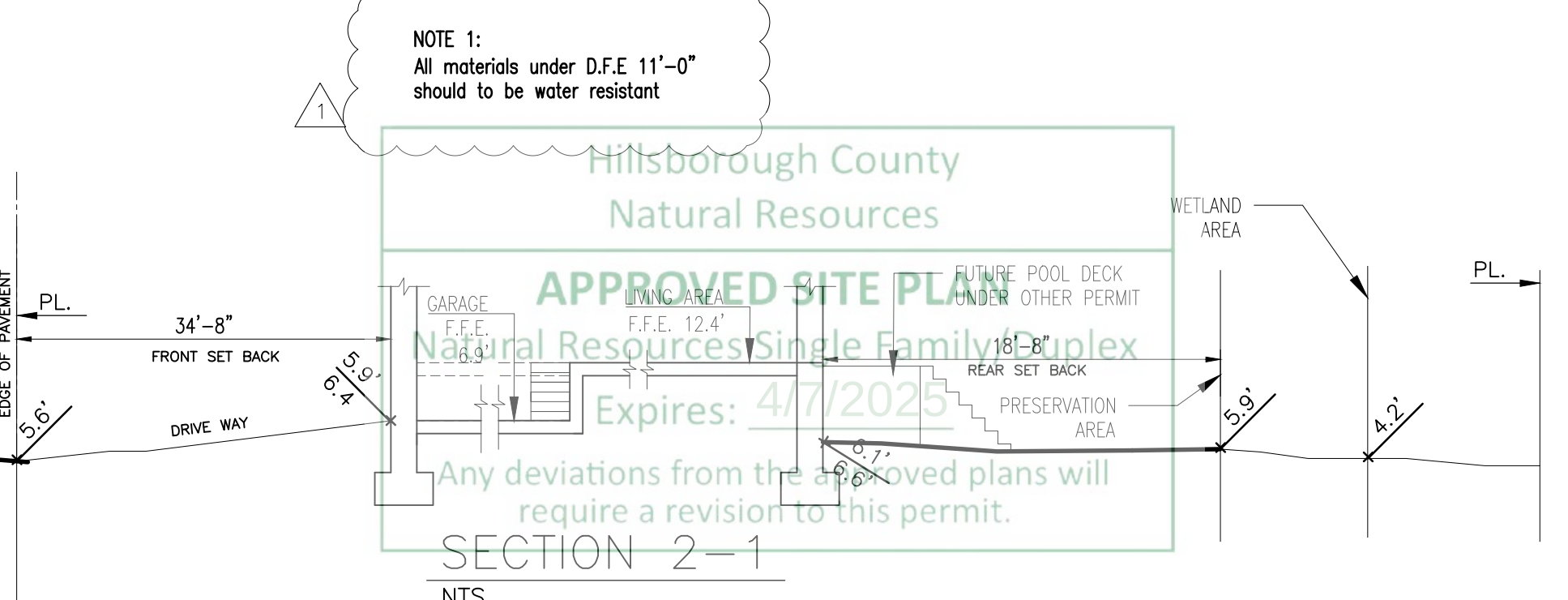
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- EXISTING ELEVATION
- PROPOSED ELEVATION
- NATURAL DRAINAGE FLOW
- PROPERTY LINE
- WATER LINE (Verify)
- SANITARY LINE (Verify)
- ELECTRIC SERVICE (Verify)
- EXISTING WELL TO ELIMINATE



FLOOD OPENING CALCULATIONS
MODEL FS-HEX WIDE 16" X 8" HEIGHT
ENGINEER COVER 110 SQFT
GARAGE AREA 501 SQFT
OPENING REQUIRED 501 / 110 = 4.6 (5 U)



SECTION 1-1
N.T.S.



SECTION 2-1
N.T.S.

GENERAL NOTES

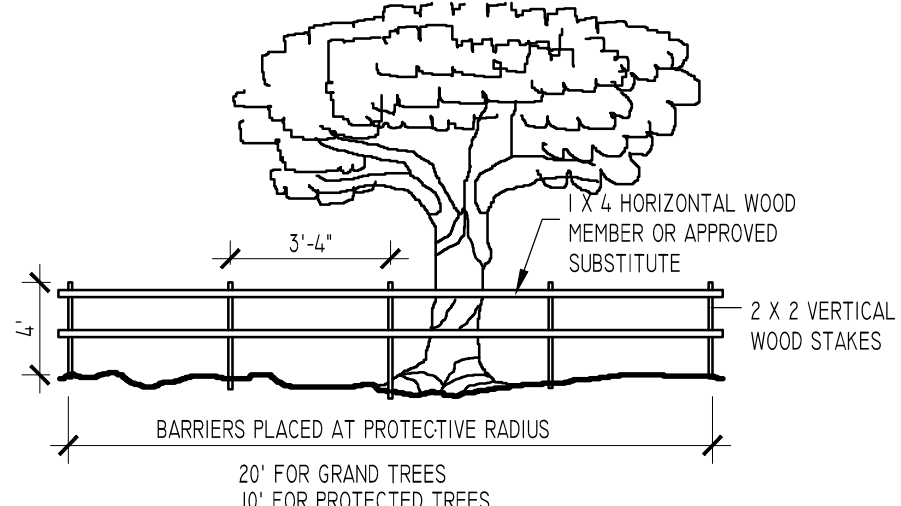
1. THE PROJECT CONSIST OF TWO STORY RESIDENCE .
2. ALL NEW WORK IS TO COMPLY WITH THE FLORIDA RESIDENCE BUILDING CODE 2020, 7TH. EDITION AND WITH ALL APPLICABLE CODES AND LOCAL ORDNANCES.
3. INFORMATION ON SITE PLAN AND LEGAL DESCRIPTION HAVE BEEN PROVIDED BY THE OWNER / CONTRACTOR AND ASSUMED TO BE CORRECT.
4. FOUNDATION SHALL BEAR ON FIRM STABLE COMPACTED SOIL. IF POOR SOIL CONDITIONS ARE FOUND, CONTACT THE OWNER BEFORE PROCEEDING.
5. ALL REINFORCING SHALL BE HELD SECURELY IN PLACE WITH STANDARD ACCESSORIES DURING PLACING OF CONCRETE. IF REQUIRED, ADDITIONAL BARS OR STIRRUPS SHALL BE PROVIDED BY THE CONTRACTOR TO FURNISH ADEQUATE SUPPORT.
6. THE CONTRACTOR SHALL COORDINATE THE SIZE NUMBER & LOCATION OF ALL ANCHOR BOLTS INSERTS, WELD PLATES AND OTHER ITEMS TO BE EMBEDDED IN THE CONCRETE AS REQUIRED BY ALL TRADES. THE ACTUAL LENGHT OF THE ANCHOR BOLT REQUIRED SHALL TAKE INTO ACCOUNT THE THICKNESS OF THE ATTACHED PART, THE NUT THICKNESS, ETC.
7. THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING NECESSARY TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE STRUCTURE PERMANENTLY AND / OR DURING THE CONSTRUCTION PROCESS AS MAY BE REQUIRED.
8. ALL CONDITIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED BY THE GENERAL CONTRACTOR PRIOR TO CONSTRUCTION, DO NOT SCALE THE DRAWINGS. ANY ADJUSTMENTS AND / OR CORRECTIONS SHALL BE MARKED AND BROUGHT TO THE ATTENTIONS OF THE OWNER.
9. THE CONTRACTOR SHALL BE SOLELY RESPONSABLE FOR COMPLYING WITH SAFETY PROCEDURES, METHODS AND MEANS OF CONSTRUCTION AND ALL REQUIREMENTS BY APPLICABLE FEDERAL, STATE AND LOCAL LAWS, REGULATIONS AND CODES.
10. ALL WOOD EXPOSED TO WEATHER SHALL BE SMOOTH, CLEAR & FREE OF DEFECTS, CHECKING, ETC.
11. DOOR HARDWARE IS TO BE FIRST GRADE RESIDENCE AS SELECTED OR APPROVED BY OWNER.
12. PAINT INTERIOR AND EXTERIOR EXPOSED SURFACES THAT DO NOT RECEIVE PRE-FINISHED MATERIAL. (3 COATS) COLOR SELECTED BY OWNER.
13. ALL CONNECTORS TO BE SIMPSON UNLESS NOTED OTHERWISE.
WITH NEC.

SITE PREPARATION.

THE RESIDENCE AREA SHOULD BE STRIPPED OF TOPSOIL AND ORGANICS. THEN THE STRIPPED BUILDING SUBGRADE SHOULD BE PROOF-ROLLED WITH A HEAVY DRUM-TYPE VIBRATORY COMPACTOR HAVING A MINIMUM STATIC WEIGHT OF 20,000 POUNDS. PROOF-ROLLING OF THE BUILDING AREA, TO 7 FEET BEYOND CONSTRUCTION LINES, SHOULD CONSIST OF AT LEAST 10 COMPLETE COVERAGES BY THE COMPACTION EQUIPMENT. COMPACTION SHOULD CONTINUE UNTIL THE SOIL 1 FOOT BELOW THE COMPACTION SURFACE ATTAINS A DENSITY OF AT LEAST 98 PERCENT OF THE MAXIMUM DRY DENSITY AS INDICATED BY THE MODIFIED PROCTOR COMPACTION TEST (ASTM METHOD D 1557)

EROSION / SEDIMENTATION CONTROL.

CONTRACTOR IS TO PROVIDE EROSION CONTROL / SEDIMENTATION BARRIER (HAY BALES OR SILTATION CURTAIN) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS AND WATERWAYS. IN ADDITION, CONTRACTOR SHALL PLACE STRAW, MULCH OR OTHER SUITABLE MATERIAL ON GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIST SITE. IF, IN THE OPINION OF THE ENGINEER AND / OR LOCAL AUTHORITIES, EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR BY VEHICULAR TRAFFIC, THE CONTRACTOR IS TO REMOVE AND CLEAN SAID EARTH TO THE SATISFACTION OF THE ENGINEER / AND / OR AUTHORITIES.



BARRICADE DETAIL
SCALE: N.T.S.



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Digitally signed by Mario A Parra
DN: c=US,
o=Florida,
dnQualifier=A01
410D000017F4
0AB5621001942
18, cn=Mario A Parra
Date: 2022.04.21 12:36:57 -04'00'

NEW RESIDENCE

SITE PLAN

PROJECT:

CONTENT:

REV	DATE
1	10/05/2021
2	10/18/2021

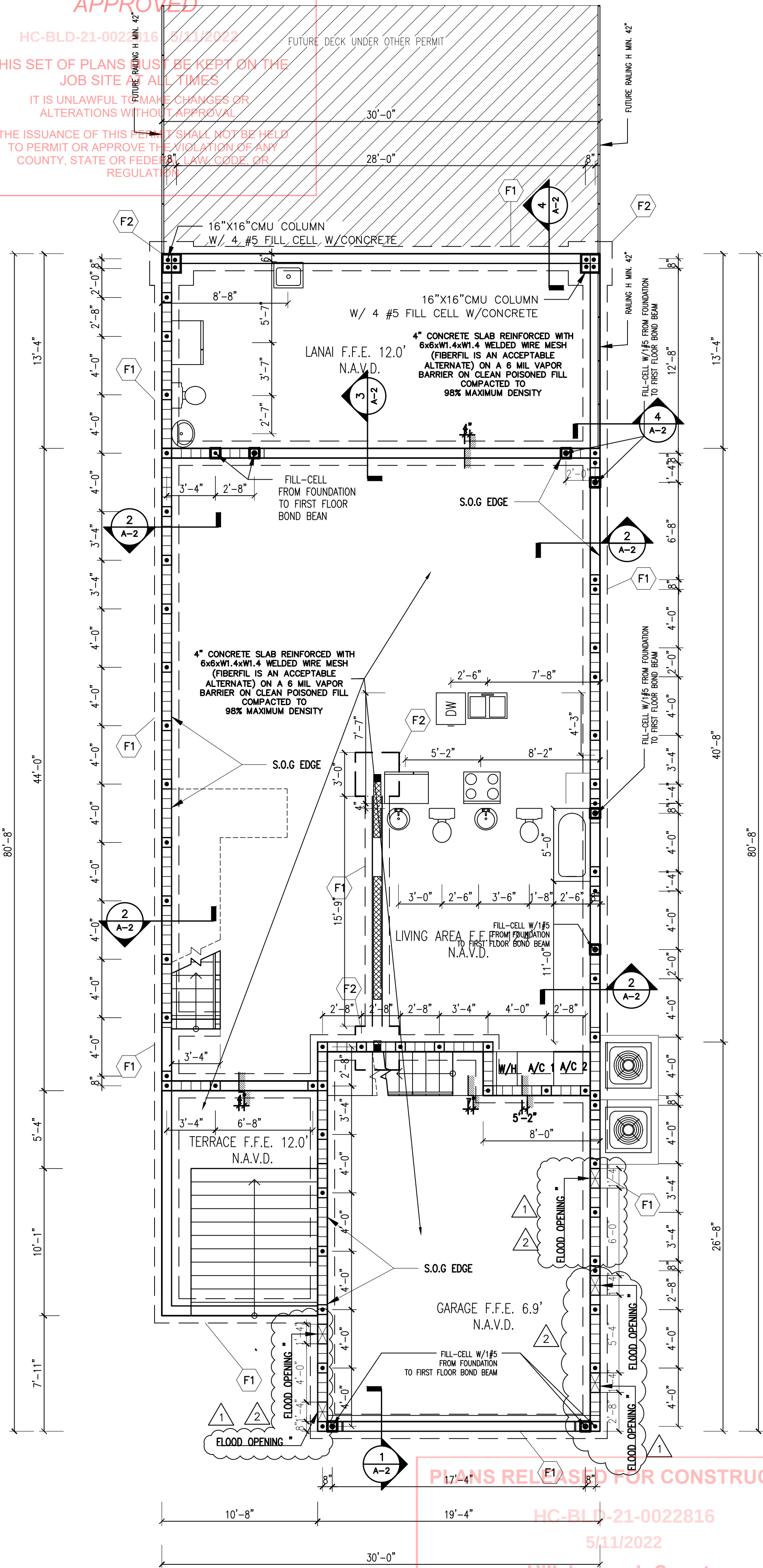
OWNER:	ADDRESS: 6429 MARBELLA BLVD APOLLO BEACH, FL 33572
PLANS COMPLY WITH THE FLORIDA BUILDING CODE 7TH EDITION (2020)- RESIDENCE	Date: 08/03/2021
Scale: AS NOTED	Drawn: D.O
Job: --	Sheet: A-1
	1 of 8

HILLSBOROUGH COUNTY
PLANS REVIEWED FOR CODE COMPLIANCE

APPROVED

HC-BLD-21-0022816 5/11/2022

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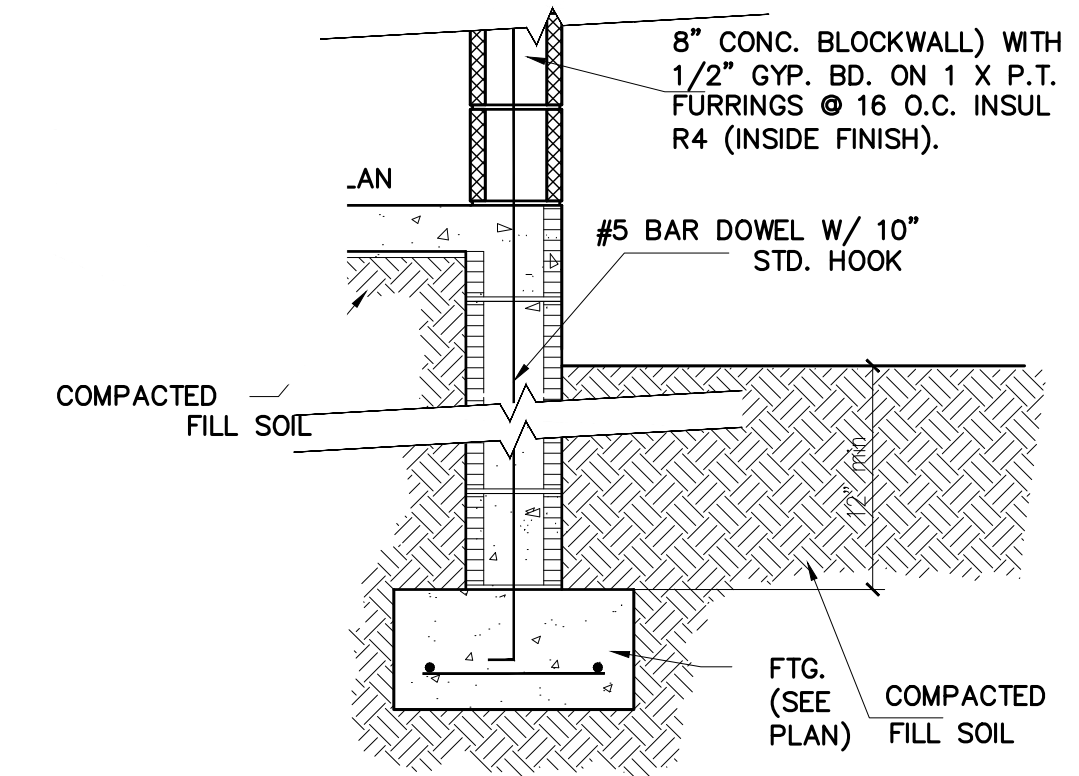
FOUNDATION PLAN
SCALE 3/16" = 1'-0"

PLANS RELEASED FOR CONSTRUCTION

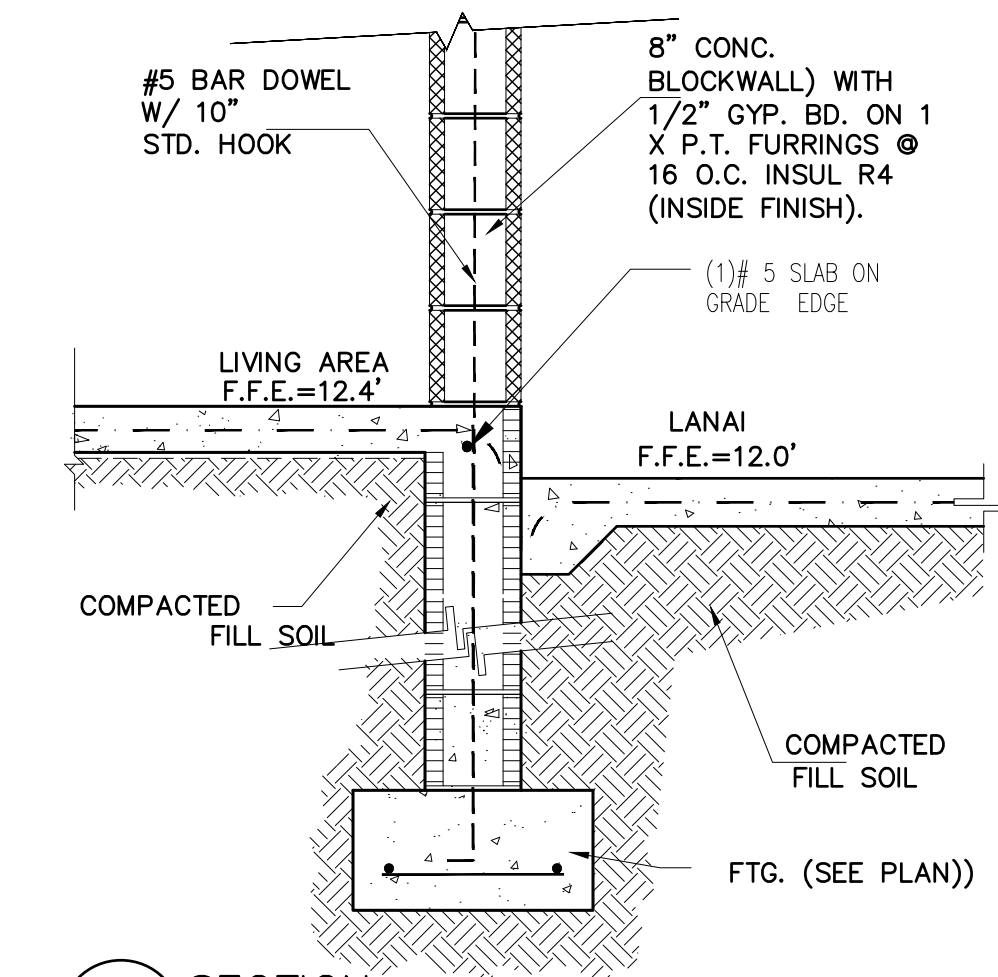
HC-BLD-21-0022816
5/11/2022

Hillsborough County
Development Services

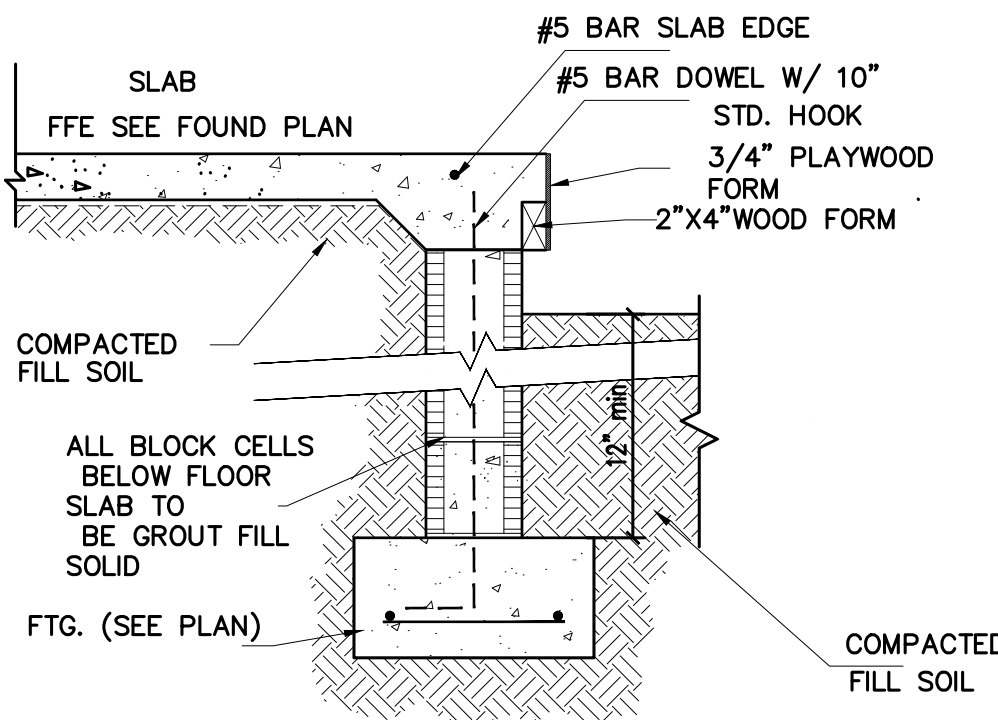
for general compliance with standards applicable to this project. Design has not necessarily been reviewed or checked regarding specific design elements or calculations. The engineer of record is fully responsible for the final decision, signed and sealed plans and documents.



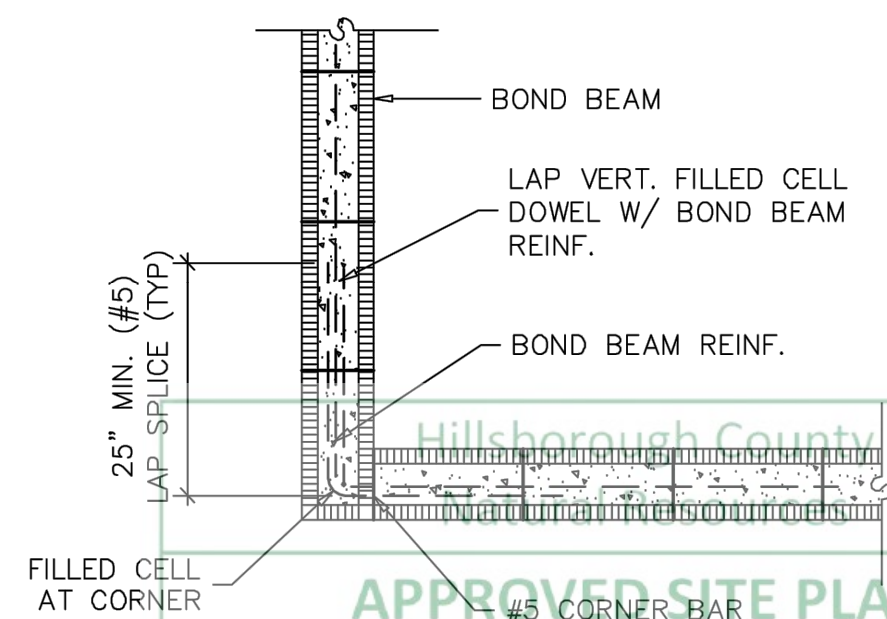
SECTION 2
A-2 SCALE: 3/4"=1'-0"



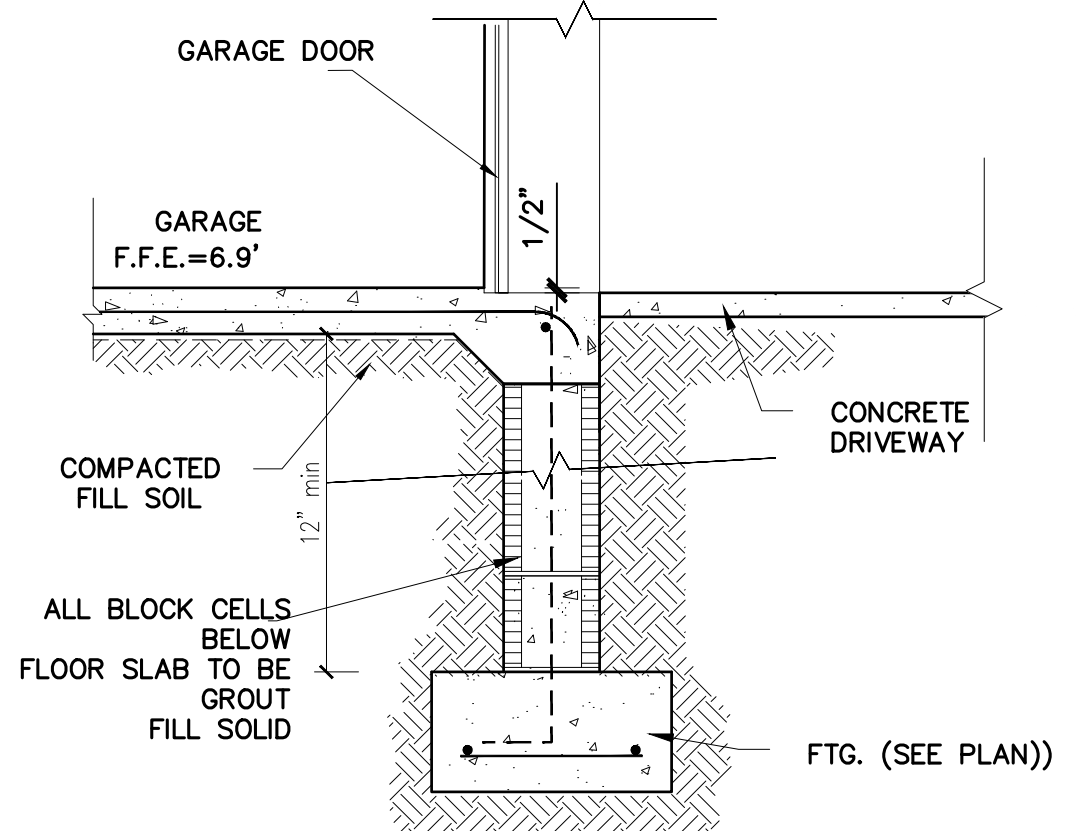
SECTION 3
A-2 SCALE: 3/4"=1'-0"



SECTION 4 (PORCH EDGE)
A-2 SCALE: 3/4"=1'-0"



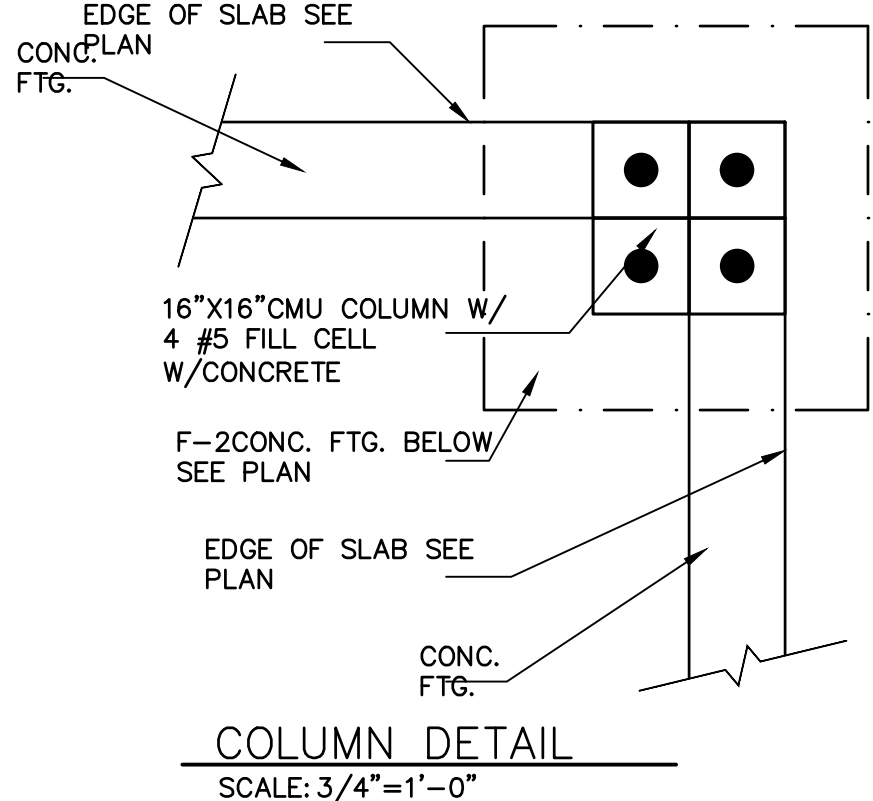
APPROVED SITE PLAN
Natural Resources Single Family/Duplex
Expires: 4/7/2025
Any deviations from the approved plans will require a revision to this permit.



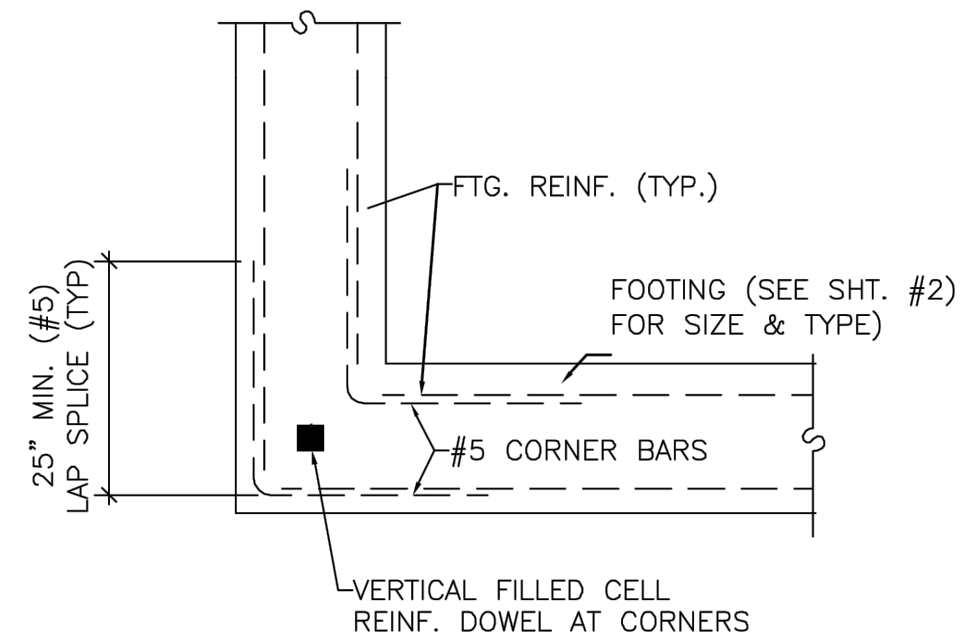
SECTION 1 (GARAGE-DRIVEWAY)
A-2 SCALE: 3/4"=1'-0"

FOOTING SCHEDULE					
MARK	SIZE			REINFORCING	
	LENGTH	WIDTH	DEPTH	TOP	BOTTOM
F1	CONT.	30"	12"		(3) # 5 (1) # 5 AT SLAB HEADER
F2	36"	36"	12"		(3) # 5 E.W.

MASONRY WALL VERTICAL REINFORCEMENTS:
UNLESS OTHERWISE NOTED ON PLAN, PLACE 1-#5 CONT. FROM FOOTING INTO ROOF BEAM IN CONCRETE FILLED CELLS AT ALL MASONRY OPENINGS, DOOR JAMBS, WINDOW JAMBS, INTERSECTION, ENDS OF WALLS, AND OTHER AREAS AS FOLLOWS:
EXTERIOR WALL 5'-4" O.C. MAX.
INTERIOR WALL 8'-0" O.C. MAX.
NOTE: WHERE VERTICAL REINFORCING DOES NOT ALIGN WITH CELL BELOW, PLACE #5 DOWEL WITH 90 DEGREE HOOK IN SLAB WITH MIN. 12" EMBEDMENT OR PLACE #5 DOWEL WITH 90 DEGREE HOOK IN SLAB AND MIN. TENSION DEVELOPMENT.
TOP OF ALL FOOTINGS AT SAME ELEVATION (MIN 12" BELOW GRADE)
SOIL BEARING CAPACITY ASSUMED TO BE MINIMUM OF 2000 PSF.
USE PERIMETER BOND BEAM W/1#5 AT EACH 5 BLOCKS HEIGHT



COLUMN DETAIL
SCALE: 3/4"=1'-0"



CONTINUITY OF REINF. IN FOOTINGS
N.T.S.



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NEW RESIDENCE
FOUNDATION PLAN

PROJECT:
CONTENT:

REV	DATE
1	10/05/2021
2	10/18/2021

OWNER:
ADDRESS: 6429 MARBELLA BLVD
APOLLO BEACH, FL 33572

PLANS COMPLY WITH THE FLORIDA BUILDING CODE 7TH EDITION (2020)- RESIDENCE

Date: 08/03/2021

Scale: AS NOTED

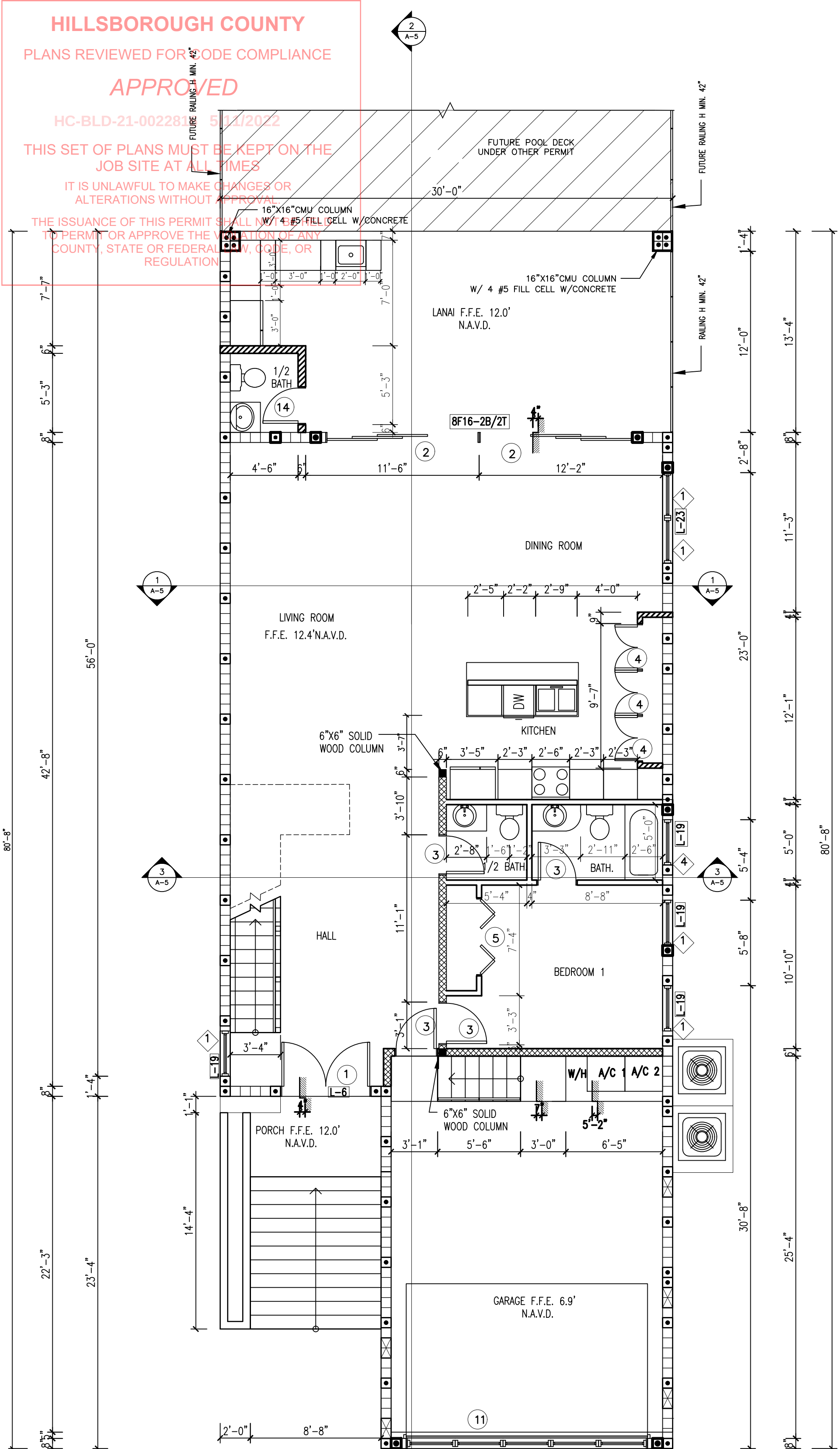
Drawn: D.O

Job: --

Sheet: A-2

2 of 8

HILLSBOROUGH COUNTY
PLANS REVIEWED FOR CODE COMPLIANCE
APPROVED
HC-BLD-21-002281 5/11/2022
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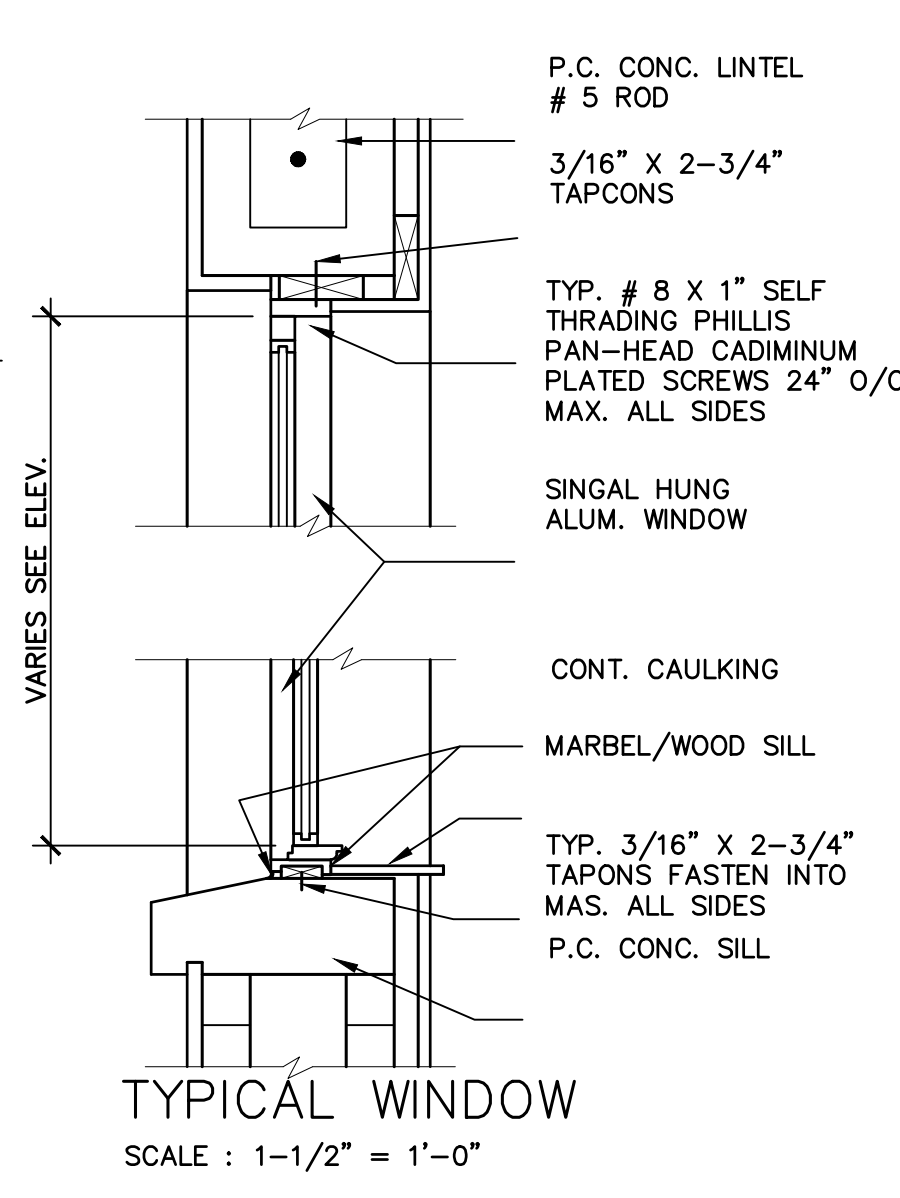
FIRST FLOOR PLAN
SCALE 3/16" = 1'-0"

SECOND FLOOR PLAN
SCALE 3/16" = 1'-0"

WINDOW SCHEDULE

ID	TYPE	CODE	WIDTH	HEIGHT	FRAME FINISH	STOOL	NOTE	MASONRY R/O	FRAMING R/O
1	SINGLE HUNG	SH25	37"	63"	VINYL/WHITE	MAR	EMERGENCY ESCAPE		
2	SINGLE HUNG	SH22	38"	26"	VINYL/WHITE	MAR			
3	SINGLE HUNG	COSTUME	63"	73"	VINYL/WHITE	MAR	EMERGENCY ESCAPE		
4	SINGLE HUNG	COSTUME	37"	19"	VINYL/WHITE	MAR	EMERGENCY ESCAPE		

GARAGE DOOR JAMB
SCALE : 1-1/2" = 1'-0"



TYPICAL WINDOW
SCALE : 1-1/2" = 1'-0"

LEGEND

- EXTERIOR WALL:
2x6 STUDS @ 16" O.C. WITH 1/2" PLYWD. SHEATHING - UNLESS NOTED OTHERWISE. INSUL. R19
- INTERIOR BEARING WALL:
2x6 STUDS @ 16" O.C. WITH 1/2" PLYWD. SHEATHING - UNLESS NOTED OTHERWISE.
- 6" WALL PARTITION, 2X6 WOOD STUDS @ 16" O.C. GYPSUM BOARD IN EACH SIDES.
- INTERIOR PARTITION:
2x4 STUDS @ 16" O.C. WITH 1/2" GYP. BD. ON EACH SIDE - UNLESS NOTED OTHERWISE.
- EXTERIOR WALL:
8" CONC. BLOCKWALL WITH 1/2" GYP. BD. ON 1 X P.T. FURRINGS @ 16 O.C. INSUL R4 (INSIDE FINISH) STUCCO (OUTSIDE FINISH UNLESS NOTED OTHERWISE.
- 8X8" FILL CELL 3000 PS 1 1 # 5 REINF.

SAFETY HAZARDOUS GLAZING LOCATION NOTES:

- FOR GLAZING SHOWERS ENCLOSURE OR OTHER GLAZING USED IN WET SURFACES WHERE THE BOTTOM EXPOSE EDGE OF THE GLAZING IS LESS THAN 60INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE CONSIDER HAZARDOUS LOCATION, AND SHALL COMPLY WITH 2020 F.B.C. 7TH EDITION RESIDENTIAL. SEE NOTES "REQUIRED SAFETY GLAZING IN HAZARDOUS LOCATIONS" A-8.

HURACANE WINDOWS/DOORS NOTES:

- WINDOW / DOOR DESIGN PRESSURE = 55 PSF
- WINDOW / DOORS (NOT IMPACT RESITANT). PROVIDE TEMPORARY PLYWOOD SHUTTERS (SEE DETAIL ON SHEET A-8)

GARAGE NOTES:

- GARAGE DOOR #3 TO BE 1 3/8" TK. SOLID CORE 20-MINUTES FIRE-RATED.
- A/C DUCTS PENETRATING GARAGE/RESIDENCE WALL SHALL BE MIN. 26 GA. STEEL AND HAVE NO OPENINGS INTO THE GARAGE.
- CEILING AND WALL BETWEEN GARAGE AND RESIDENCE TO HAVE MIN. 1/2" (TYPE X) G.B. APPLIED TO GARAGE SIDE

D.F.E. NOTE:

- HEATING, VENTILATING, AIR CONDITIONING- PLUMBING APPLIANCES AND PLUMBING FIXTURES- DUCT SYSTEMS - ELECTRICAL AND OTHER EQUIPMENT SHALL BE LOCATED AT OR ABOVE DFE. 9.5'

FRAMING SYSTEM NOTES:

- STUDS IN BEARING WALLS, EXTERIOR WALLS AND NON BEARING PARTITIONS SUPPORTING WALL HUNG PLUMBING FIXTURES AND WALL CABINETS SHALL BE NOT LESS THAN 2"x4" WHERE SPACED NOT MORE THAN 16" O/C. OR, NOT LESS THAN 2"x6" WHERE SPACED NOT MORE THAN 24 " O/C.
- A MINIMUM 2X4" HORIZONTAL WOOD MEMBER, SECURELY FASTENED TO NOT LESS THAN 2 SUCH STUDS, SHALL BE INSTALLED FOR THE ATTACHMENT OF EACH WALL HUNG PLUMBING FIXTURE AND WALL CABINET.

DOOR SCHEDULE

DR.	SIZE	MATERIAL	MFG.	NOTE
1	6'-0" x 8'-0"	WOOD (P.)	MASONITE	EXTERIOR -DOUBLE DOOR PANEL
2	10'-0" x 8'-0"	ALUM. (GL.SL)	PGT INDUSTRIES	EXTERIOR - INSULATION
3	2'-8" x 8'-0"	WOOD (P.)	MASONITE	INTERIOR
4	3'-0" x 8'-0"	WOOD (P.)	MASONITE	INTERIOR -DOUBLE DOOR PANEL
5	5'-0" x 8'-0"	WOOD (BF.)	MASONITE	INTERIOR
6	6'-0" x 8'-0"	WOOD (BF.)	MASONITE	INTERIOR
7	2'-8" x 8'-0"	WOOD (PK..)	MASONITE	INTERIOR
8	2'-6" x 8'-0"	WOOD (BF.)	MASONITE	INTERIOR
9	5'-0" x 8'-0"	WOOD (PK.)	MASONITE	INTERIOR- DOUBLE
10	2'-8" x 8'-0"	WOOD (PK.)	MASONITE	INTERIOR- DOUBLE
11	16'-0" x 10'-0"	GD.	CLOPAY	GARAGE DOOR
12	2'-8" x 8'-0"	WOOD (P.)	MASONITE	EXTERIOR
13	6'-0" x 8'-0"	ALUM. (GL.SL)	MASONITE	EXTERIOR
14	2'-4" x 8'-0"	WOOD (P.)	MASONITE	INTERIOR
15	12'-0" x 8'-0"	ALUM. (GL.SL)	PGT INDUSTRIES	EXTERIOR - INSULATION

ALL DOORS TO BE RESIDENCE GRADE 6 PANEL
EXTERIOR DOORS TO BE INSULATED AND WITH WEATHERSTRIPPING.
(BF.) = BIFOLD DOOR
(GL.SL) = GLASS SLIDING DOOR
(P.) = PANEL DOOR
(GD.) = GARAGE DOOR
(PK.) = POKET DOOR



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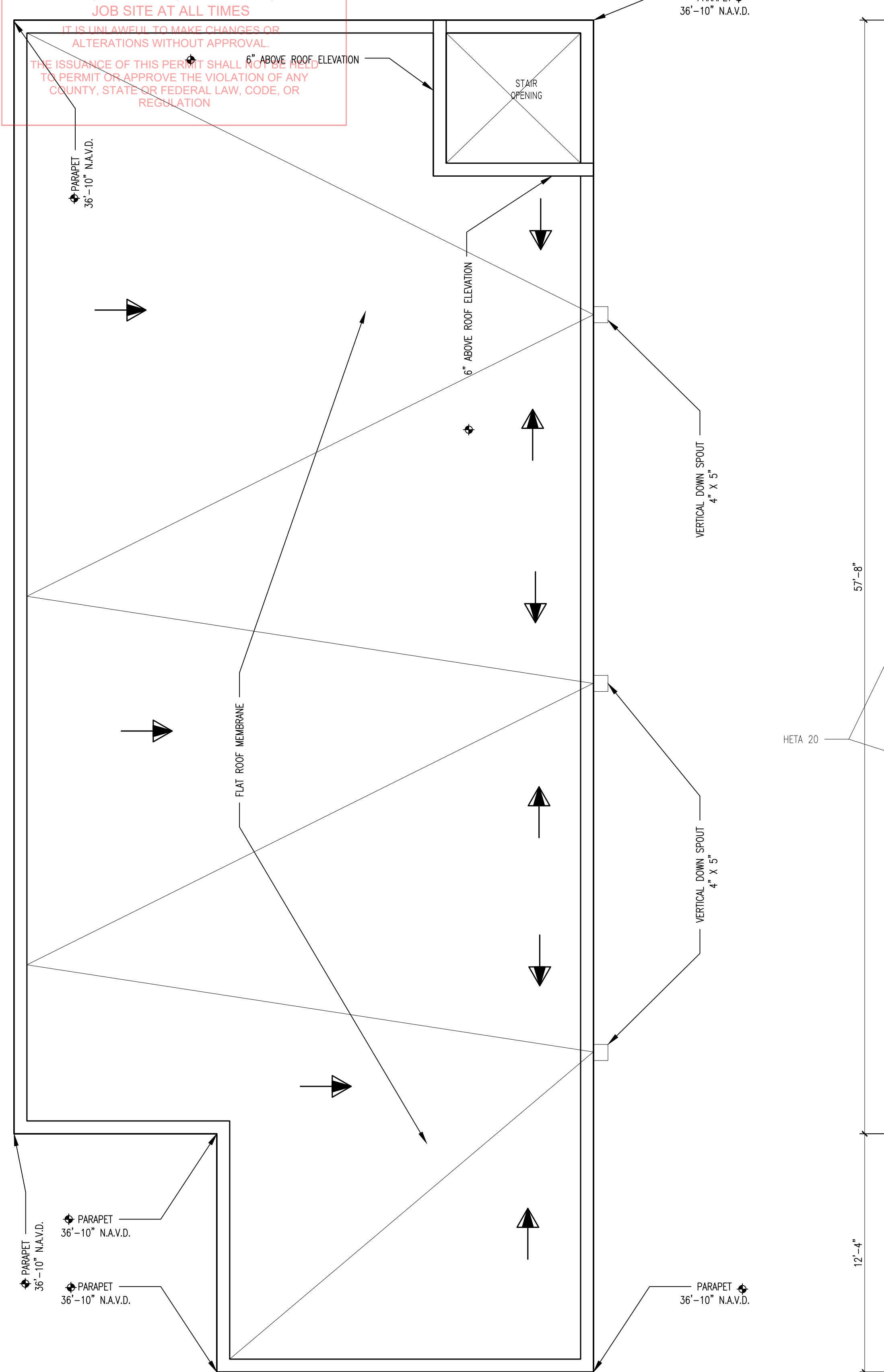
PROJECT:
NEW RESIDENCE
CONTENT: FIRST AND SECOND FLOOR PLAN

REV	DATE
1	10/05/2021

OWNER:
ADDRESS: 6429 MARBELLA BLVD
APOLLO BEACH, FL 33572
PLANS COMPLY WITH THE FLORIDA BUILDING CODE 7TH EDITION (2020)- RESIDENCE

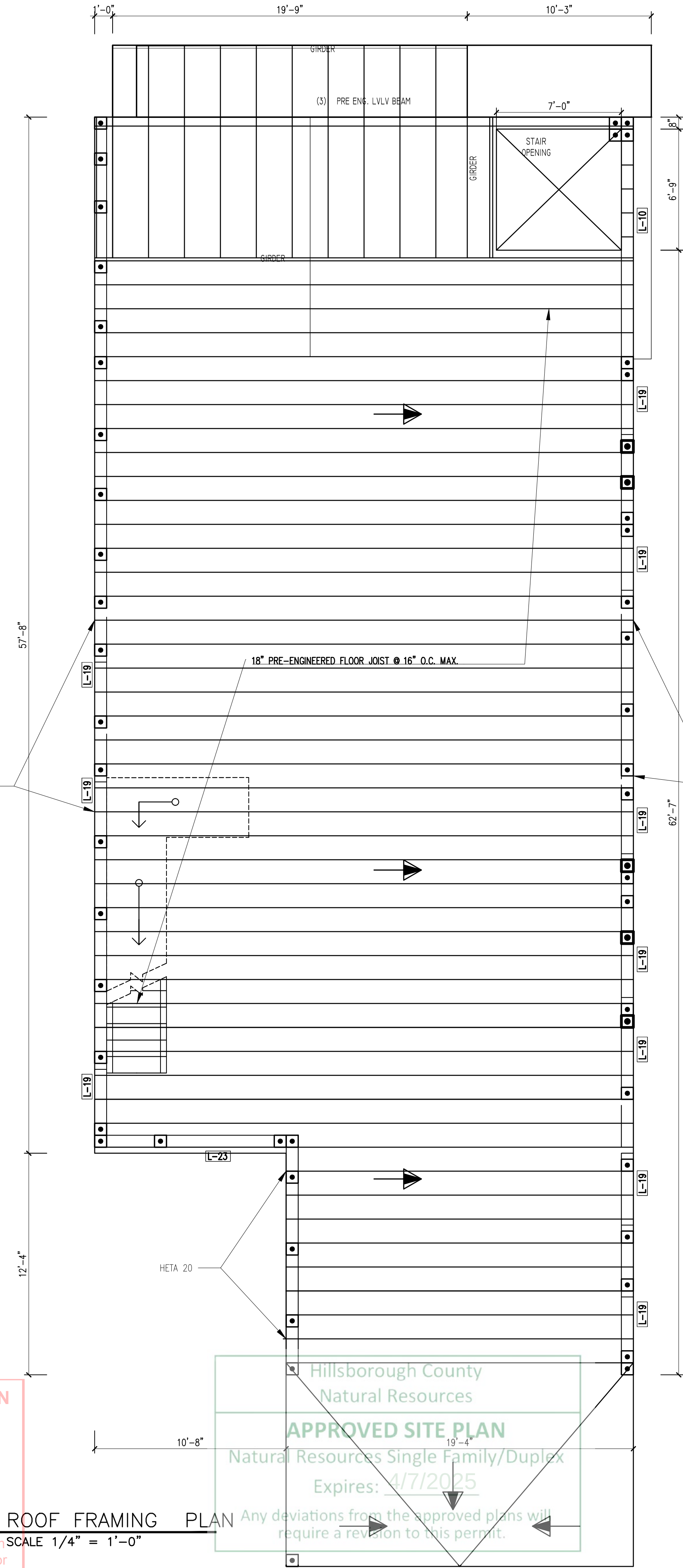
Date: 08/03/2021
Scale: AS NOTED
Drawn: D.O
Job: --
Sheet: A-3
3 of 8

HILLSBOROUGH COUNTY
PLANS REVIEWED FOR CODE COMPLIANCE
APPROVED
HC-BLD-21-0022816 5/11/2022
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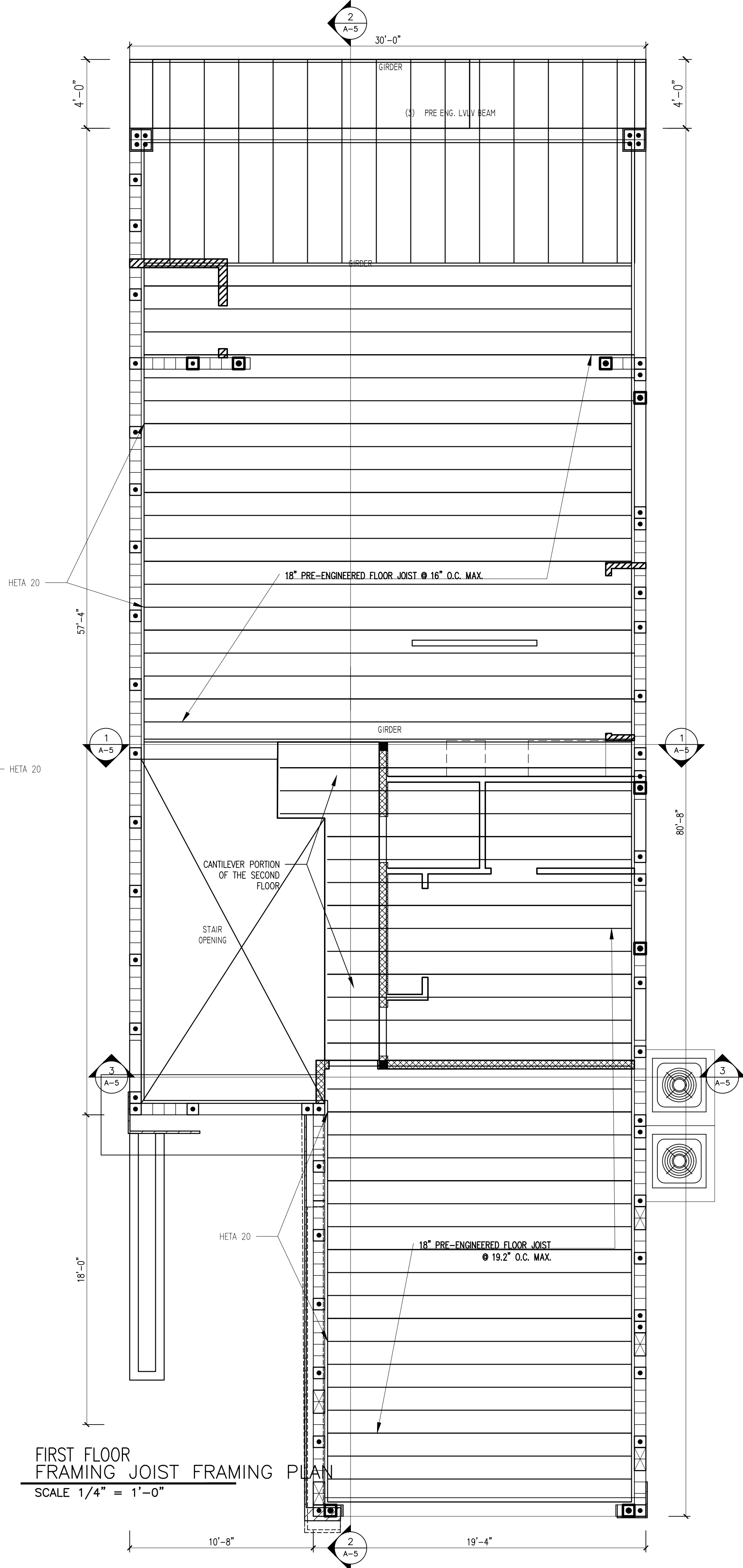
ROOF PLAN
SCALE 1/4" = 1'-0"

PLANS RELEASED FOR CONSTRUCTION
HC-BLD-21-0022816
5/11/2022
Hillsborough County
Development Services
Project reviewed for general compliance with standards
applicable to this project. Design has not necessarily been
reviewed or checked regarding specific design elements or
calculations. The engineer of record is fully responsible for
the final decision, signed and sealed plans and documents.



ROOF FRAMING PLAN
SCALE 1/4" = 1'-0"

Hillsborough County
Natural Resources
APPROVED SITE PLAN
Natural Resources Single Family/Duplex
Expires: 4/7/2025
Any deviations from the approved plans will
require a revision to this permit.



FIRST FLOOR
FRAMING JOIST FRAMING PLAN
SCALE 1/4" = 1'-0"

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PROJECT: **NEW RESIDENCE**
CONTENT: **FRAMING ROOF PLAN**

REV	DATE
1	10/05/2021

OWNER:
ADDRESS: **6429 MARBELLA BLVD**
APOLLO BEACH, FL 33572
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EDITION (2020)- RESIDENCE

Date:	08/03/2021
Scale:	AS NOTED
Drawn:	D.O
Job:	--
Sheet:	A-4 4 of 8

HILLSBOROUGH COUNTY

PLANS REVIEWED FOR CODE COMPLIANCE

APPROVED

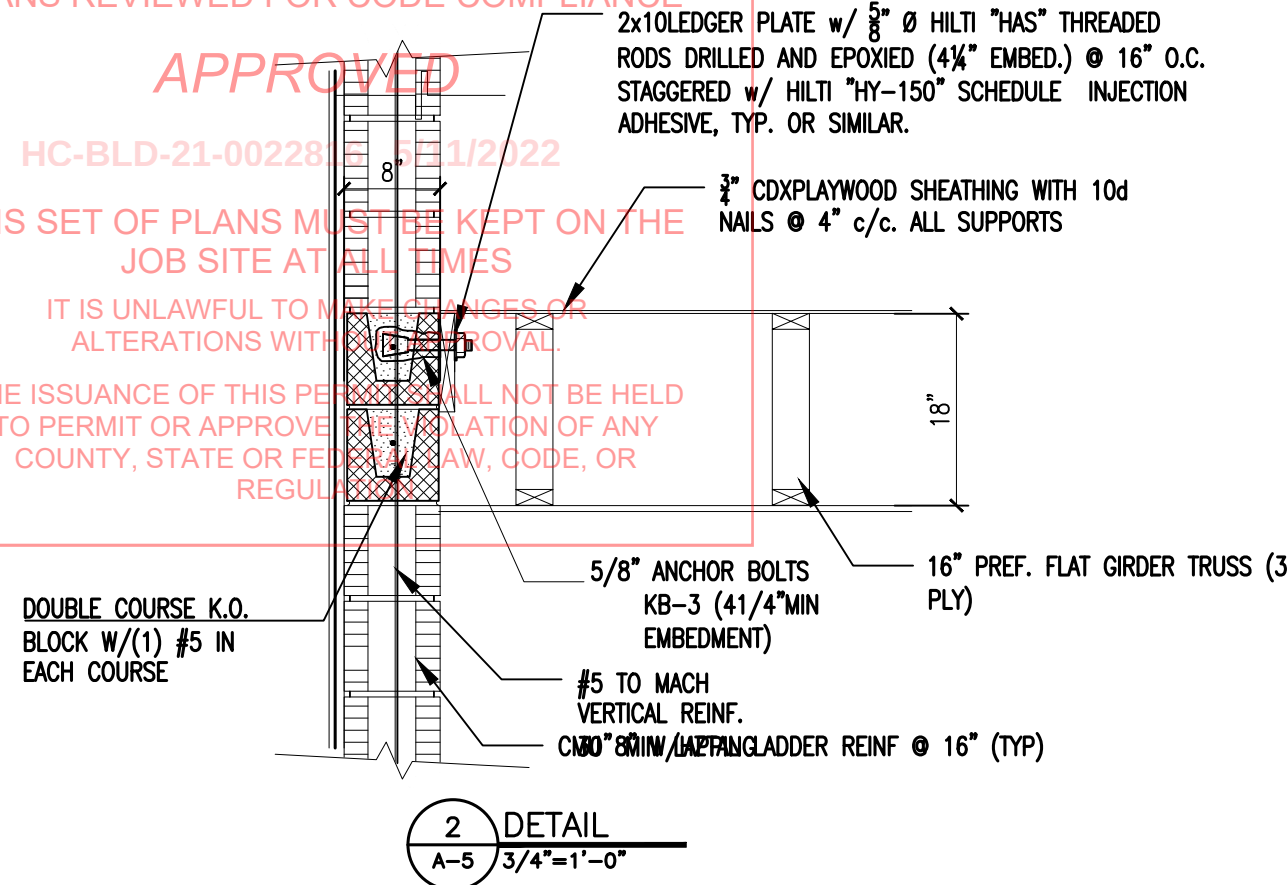
HC-BLD-21-0022816

5/11/2022

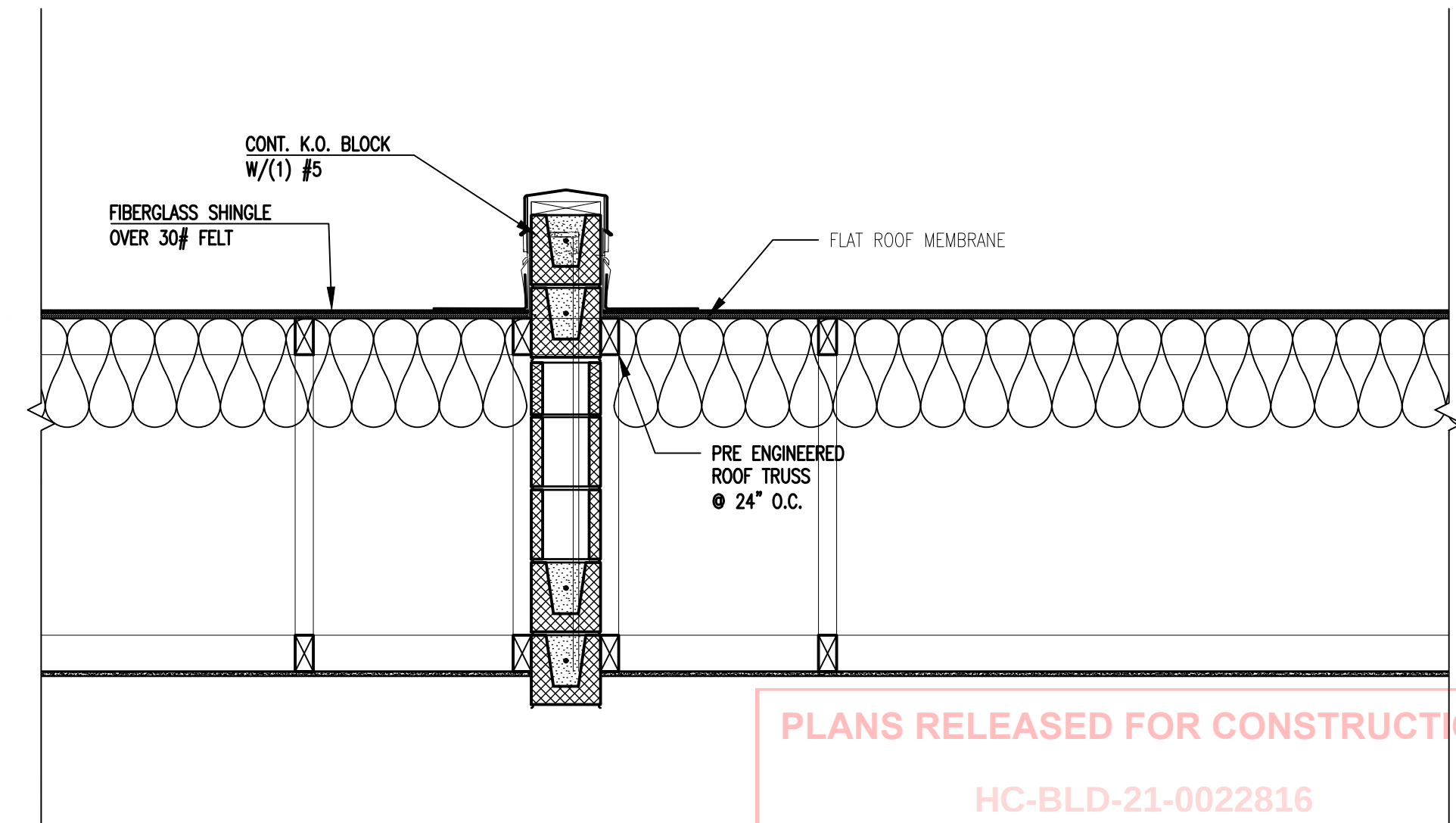
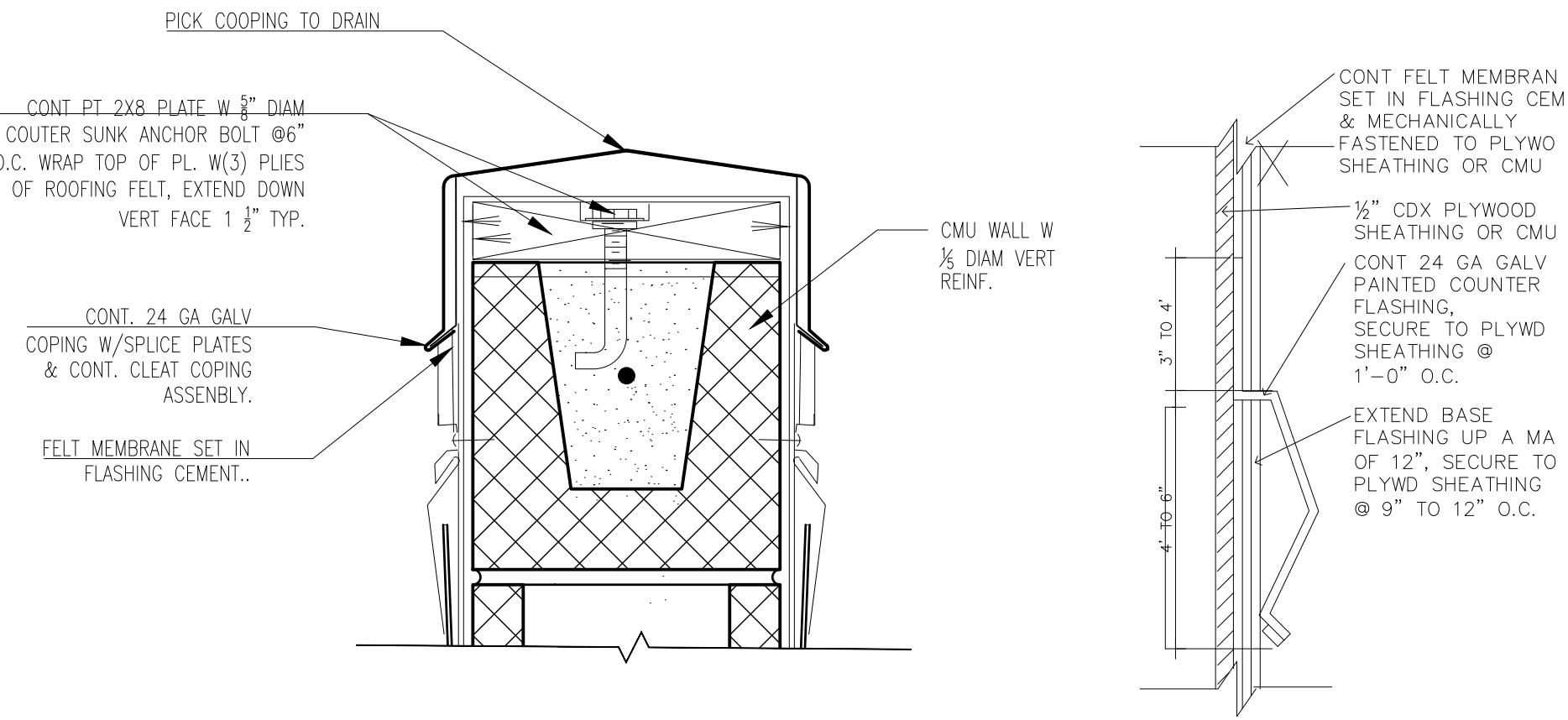
THIS SET OF PLANS MUST BE KEPT ON THE JOB SITE AT ALL TIMES

IT IS UNLAWFUL TO MAKE ANY CHANGES OR ALTERATIONS WITHOUT THE WRITTEN CONSENT OF THE ENGINEER OF RECORD

THE ISSUANCE OF THIS PERMIT SHALL NOT BE HELD TO PERMIT OR APPROVE THE LOCATION OF ANY COUNTY, STATE OR FEDERAL LAW, CODE, OR REGULATION



2 DETAIL
A-5 3/4"=1'-0"



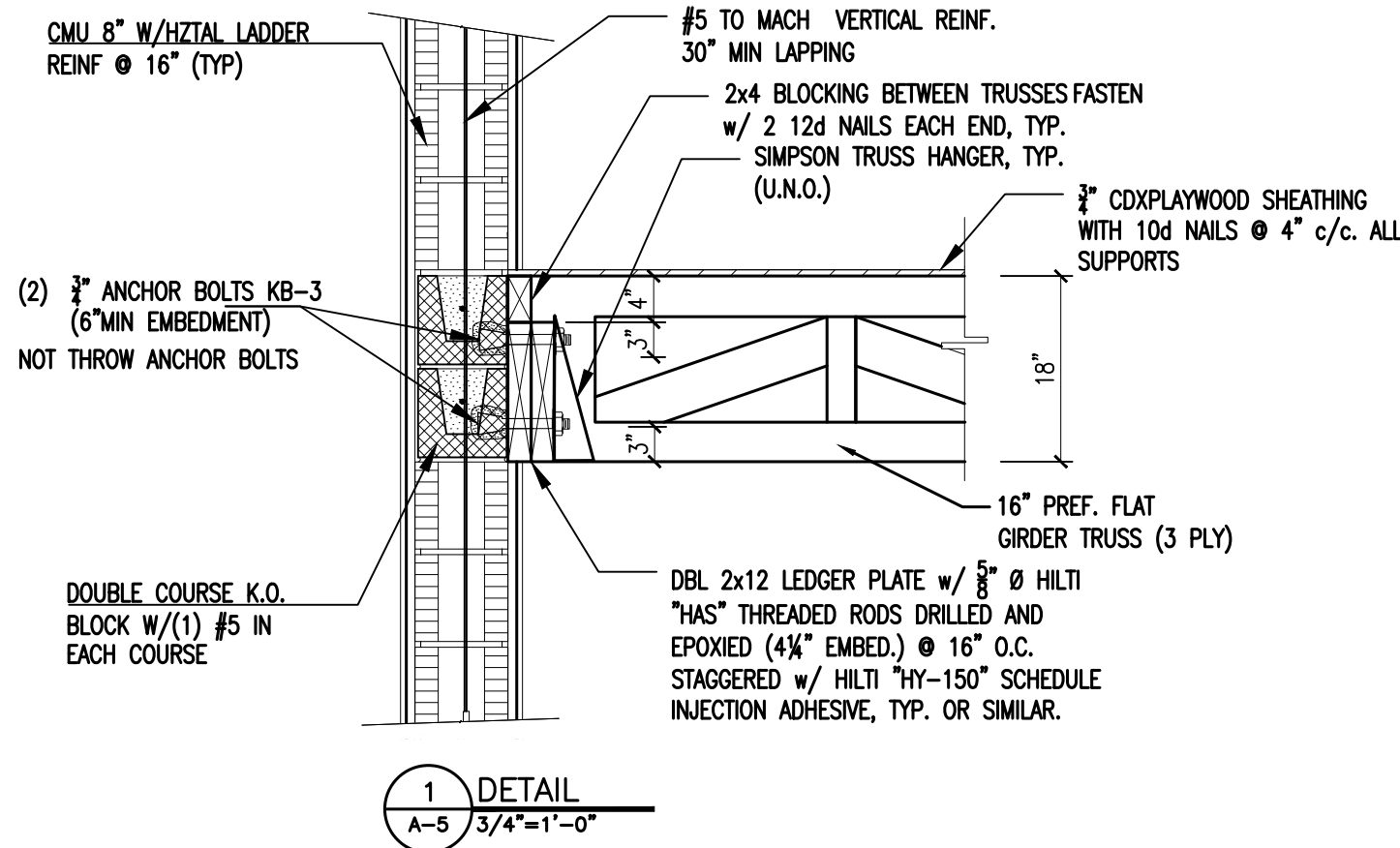
PLANS RELEASED FOR CONSTRUCTION

HC-BLD-21-0022816

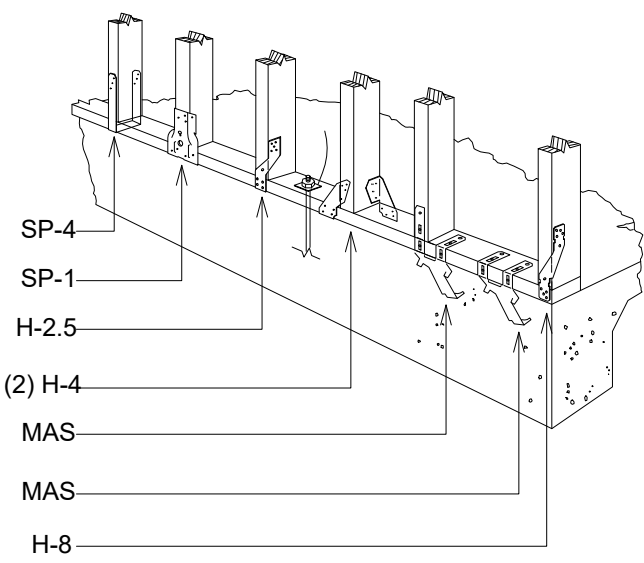
5/11/2022

Hillsborough County
Development Services

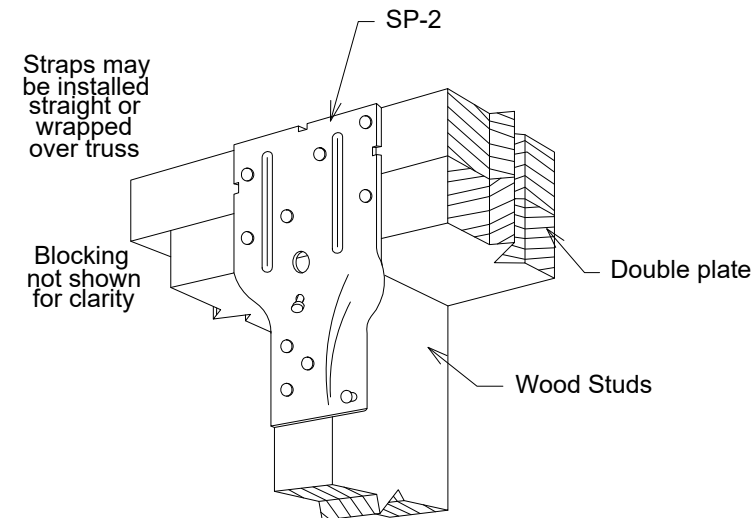
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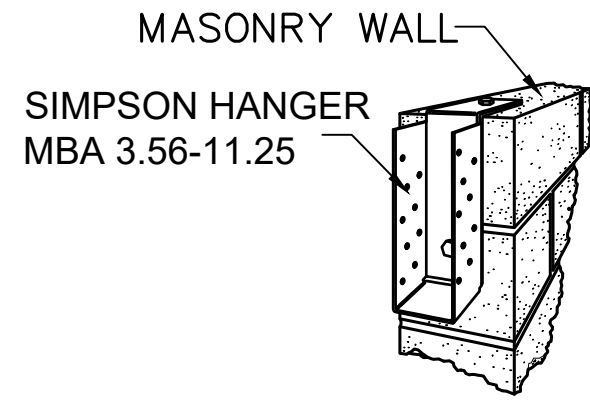
1 DETAIL
A-5 3/4"=1'-0"



7 SIMPSON STRONG TIE
A-4 SILL PLATE TO FOUND. NTS



5 Simpson SP-2
A-4 NTS



6 HANGER MBA SIMPSON
A-4 NTS

HEADER SCHEDULE

OPENING	HEADER
UP TO 3'-0"	2-2" x 6"
3'-0" TO 5'-0"	2-2" x 8"
5'-0" TO 8'-0"	2-2" x 10"
8'-0" TO 12'-0"	2-2" x 12"

SIMPSON CONNECTOR TABLE

ITEM NO.	CAT. NO.	NO. OF FASTENERS	UPLIFT	LOAD	REMARKS
1	HETA20	12-10d x 1-1/2"	1810 #		SEE DETAIL
2	2/HETA20	12-10d x1-1/2 EACH	1490 # EACH		
3	H10A	8-10d x 1/2"	905 #		SEE DETAIL
4	H2.5	5-8d	600 #		SEE DETAIL
5	H10A 2	9-10-d X 1 1/2"	1245 #		
6	MTS18	14-10d x 1 1/2"	1000 #		
7	MBHA 3.56-11.25	18-10d EACH	1885 #	4380 #	SEE DETAIL
8	SP1 or SP2	6-10d x 1 1/2"	585 # - 890#		
9	GIRDER & CONNECTORS TO BE SELECTED BY TRUSS DESIGNER				
10	LU210	8-10d	630 # EACH	1200 #	

Hillsborough County
Natural Resources

APPROVED SITE PLAN

Natural Resources Single Family/Duplex

Expires: 4/7/2025

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PROJECT: NEW RESIDENCE

CONTENT: FRAMING ROOF DETAILS PLAN

REV	DATE
1	10/05/2021

OWNER:

ADDRESS: 6429 MARBELLA BLVD

APOLLO BEACH, FL 33572

PLANS COMPLY WITH THE FLORIDA BUILDING CODE 7TH EDITION (2020)- RESIDENCE

Date: 08/03/2021

Scale: AS NOTED

Drawn: D.O

Job: --

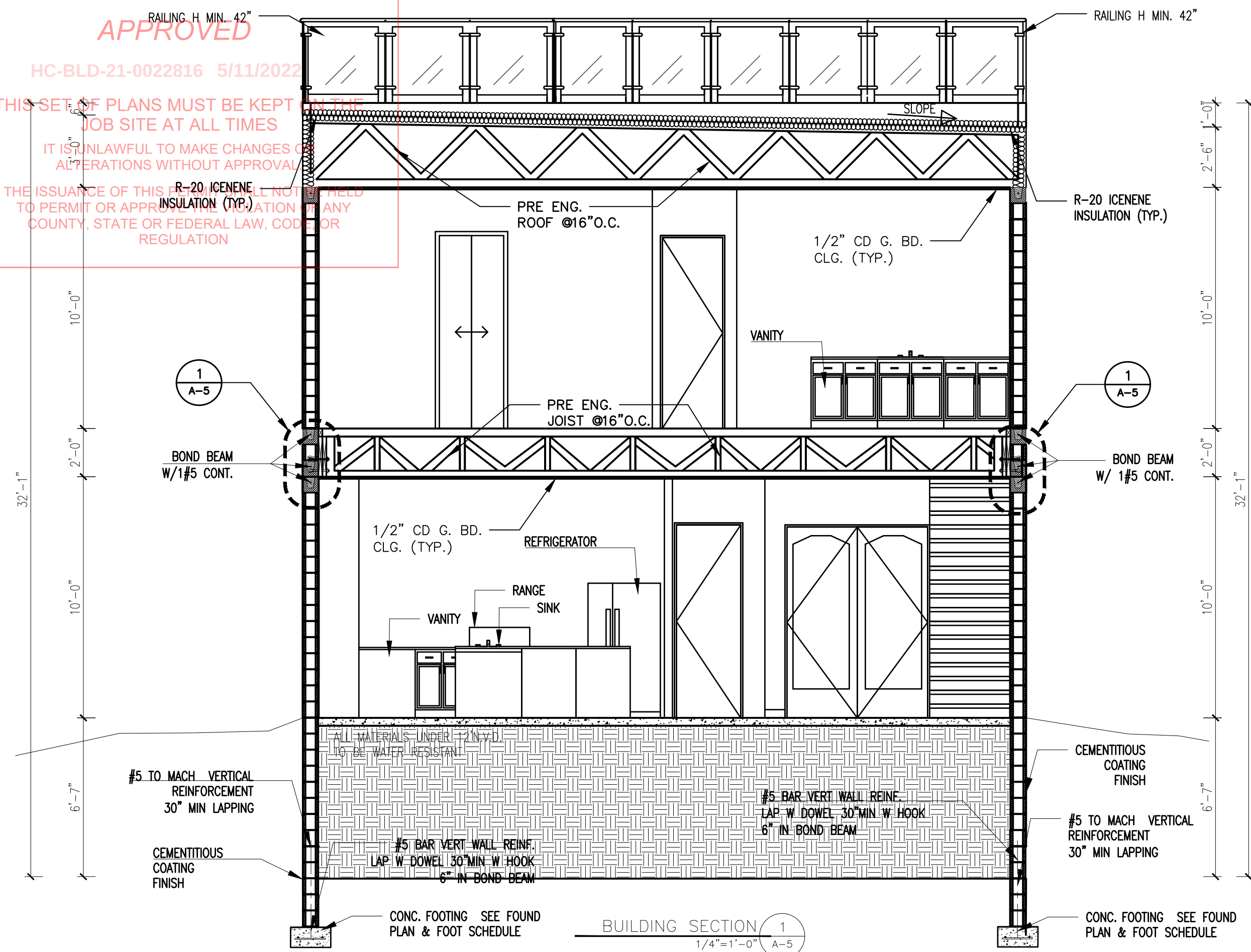
Sheet: A-4.1

4.1 of 8

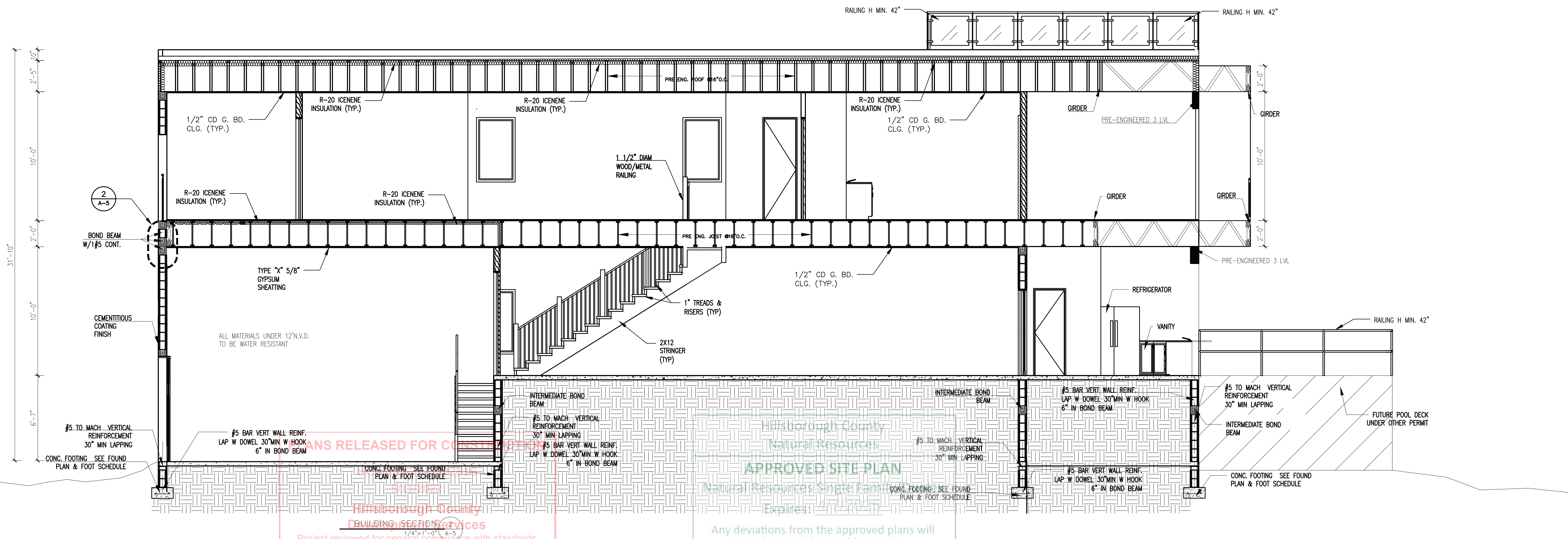
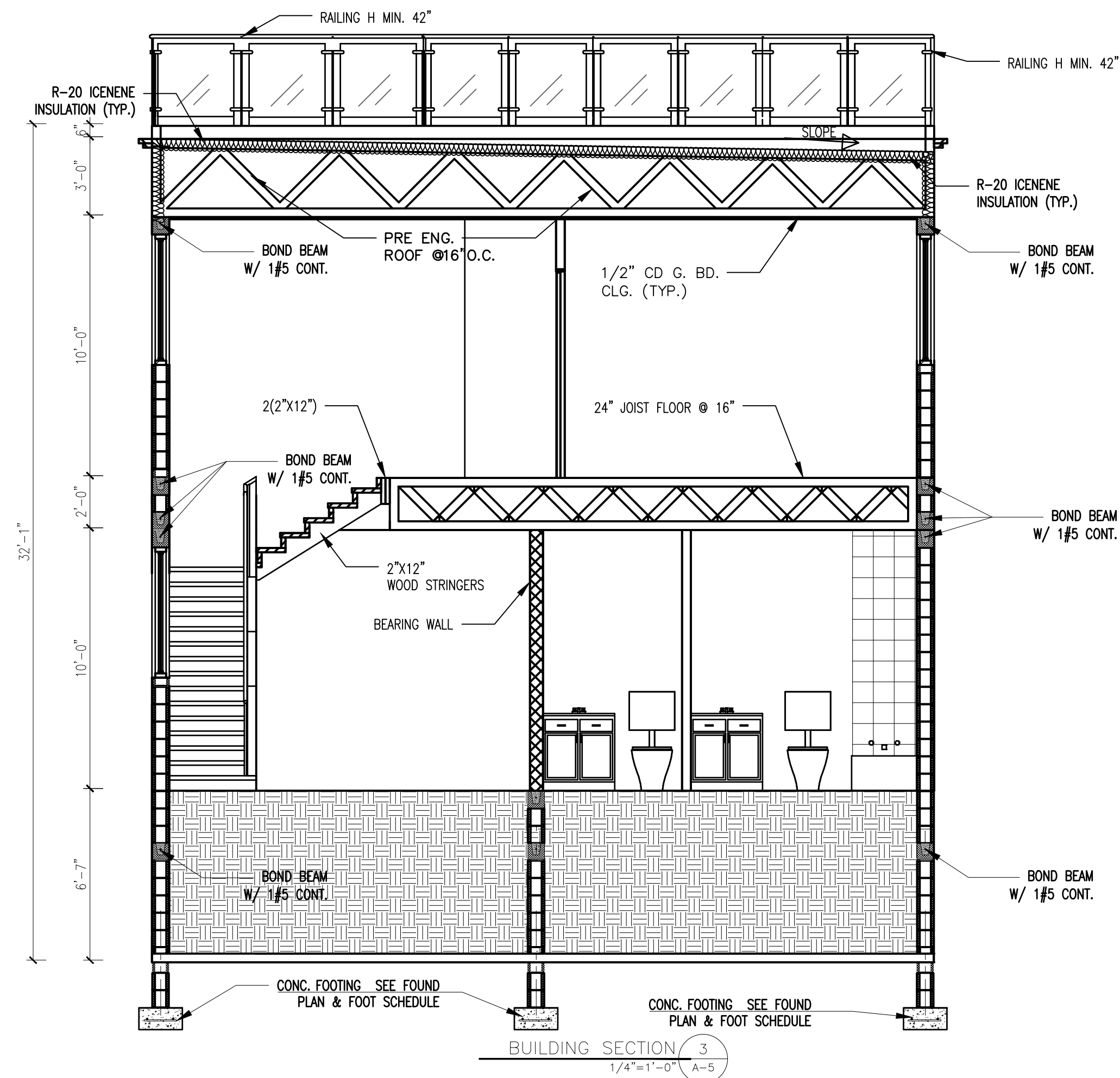
RAILING H. MIN. 42"
APPROVED

THIS SET OF PLANS MUST BE KEPT
JOB SITE AT ALL TIMES

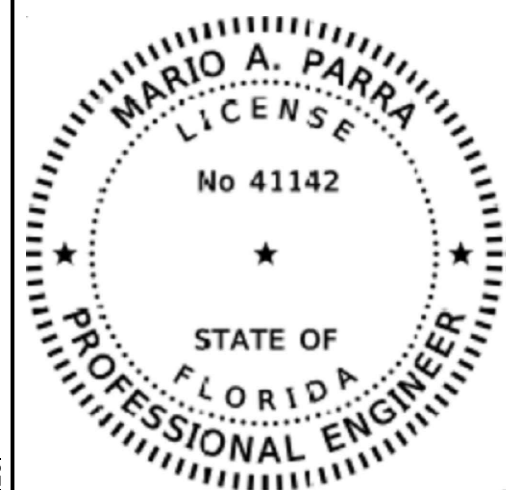
IT IS UNLAWFUL TO MAKE CHANGES OR ALTERATIONS WITHOUT APPROVAL OF THE ISSUANCE OF THIS PERMIT. ALL NOTICES MUST BE TO PERMIT OR APPROVAL OF THE INSULATION TYPE IN ANY COUNTY, STATE OR FEDERAL LAW, CODE OR REGULATION.



R806.5
INSULATION SHALL COMPLY WITH ITEM 5.3 AND ITEM 5.1.
AS AN ALTERNATIVE, WHERE AIR-PERMEABLE INSULATION
IS LOCATED ON TOP OF THE ATTIC CEILING, INSULATION
SHALL COMPLY WITH ITEM 5.3 AND ITEM 5.2.



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NEW RESIDENCE

BUILDING SECTIONS

PROJECT:

CONTENT:

REV	DATE
1	10/05/2021

OWNER:

ADDRESS: **6429 MARBELLA BLVD**
APOLLO BEACH, FL 33572

PLANS COMPLY WITH THE
FLORIDA BUILDING CODE 7T
EDITION (2020)- RESIDENCE

Date: 08/03/2021

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Drawn: D.O

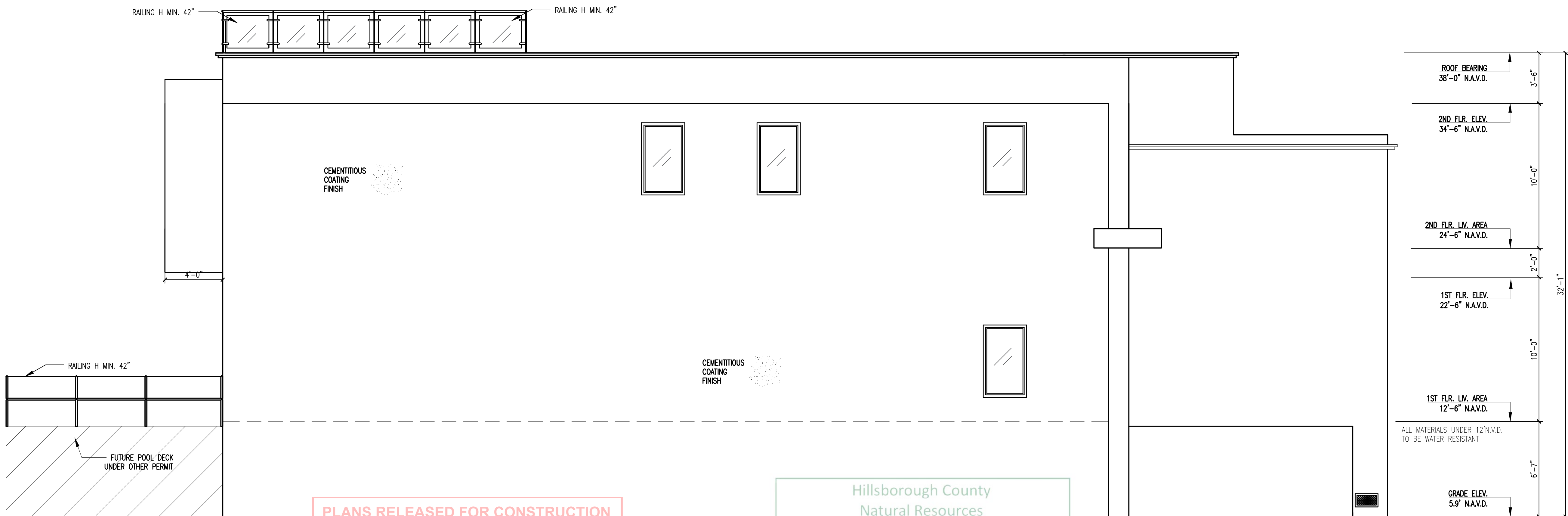
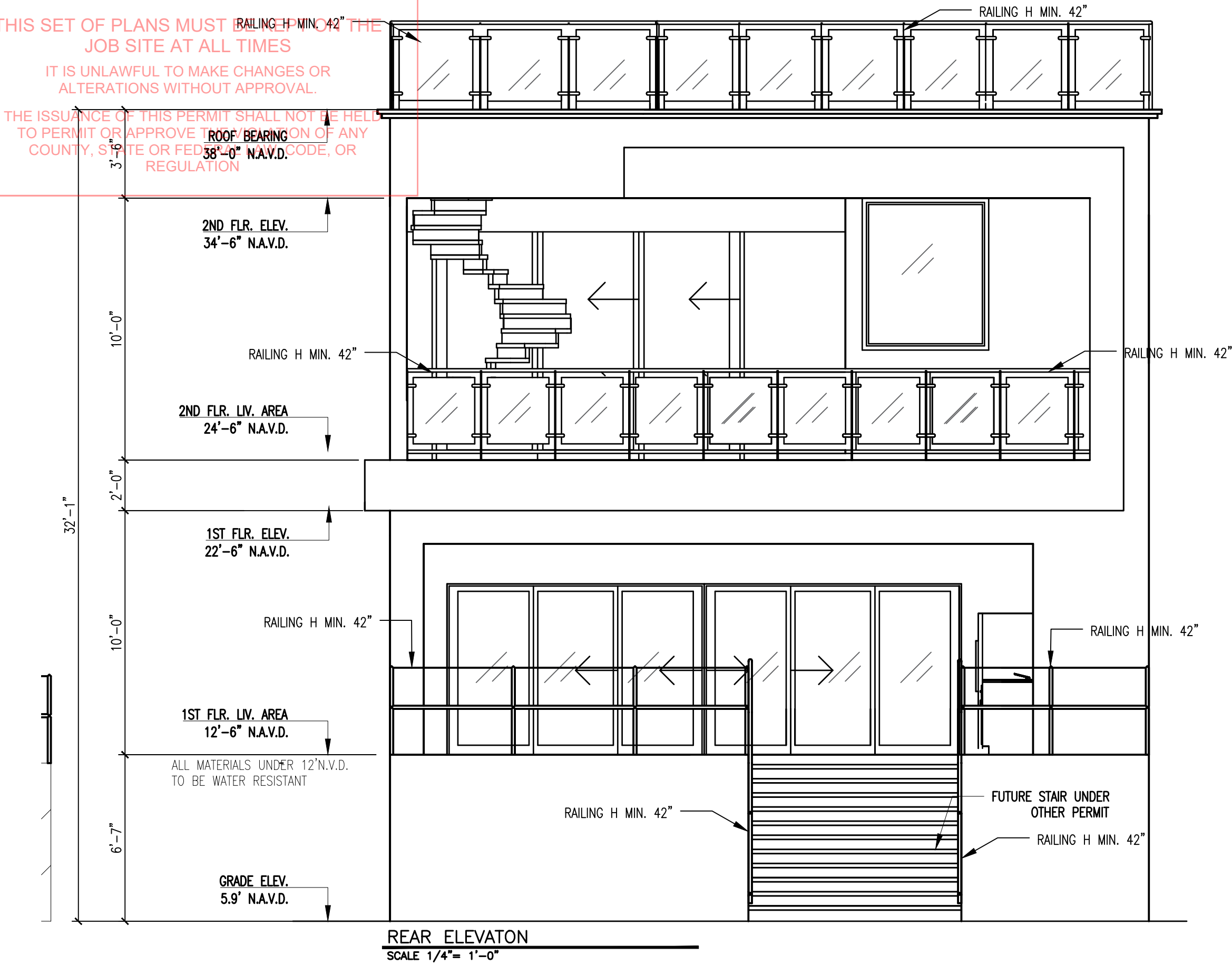
Job: — —

Sheet: A-5

5 of 8

MARIO A. PARRA, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 14142. THIS TEXT HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY MARIO A. PARRA. P.E. USING A SHA AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

HILLSBOROUGH COUNTY
PLANS REVIEWED FOR CODE COMPLIANCE
APPROVED
HC-BLD-21-0022816 5/11/2022
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LATERAL ELEVATION
SCALE 1/4"= 1'-0"

PLANS RELEASED FOR CONSTRUCTION

HC-BLD-21-0022816
5/11/2022

Hillsborough County
Development Services

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1

R703.7 EXTERIOR PLASTER.
INSTALLATION OF THESE MATERIALS SHALL BE IN COMPLIANCE WITH ASTM C926, ASTM C1063 OR ASTM C1787 AND THE PROVISIONS OF THIS CODE.

R703.7.1 LATH.
LATH AND LATH ATTACHMENTS SHALL BE OF CORROSION-RESISTANT MATERIALS. EXPANDED METAL OR WOVEN WIRE LATH SHALL BE ATTACHED WITH 11/2-INCH-LONG (38 MM), 11 GAGE NAILS HAVING A 7/16-INCH (11.1 MM) HEAD, OR 11/2-INCH-LONG (22.2 MM), 16 GAGE STAPLES, SPACED IN ACCORDANCE WITH ASTM C1063 OR C1787, OR AS OTHERWISE APPROVED.

R703.7.2 PLASTER.
PLASTERING WITH CEMENT PLASTER SHALL BE NOT LESS THAN THREE COATS WHERE APPLIED OVER ANY TYPE OF CODE-APPROVED LATH AND SHALL BE NOT LESS THAN TWO COATS WHERE DIRECTLY APPLIED OVER MASONRY, CONCRETE, CLAY BRICK, STONE OR TILE. IF THE PLASTER SURFACE IS COMPLETELY COVERED BY VENEER OR OTHER FACING MATERIAL OR IS COMPLETELY CONCEALED, PLASTER APPLICATION NEED BE ONLY TWO COATS, PROVIDED THE TOTAL THICKNESS IS AS SET FORTH IN TABLE R702.1(1).

ON WOOD-FRAME CONSTRUCTION WITH AN ON-GRADE FLOOR SLAB SYSTEM, EXTERIOR PLASTER SHALL BE APPLIED TO COVER, BUT NOT EXTEND BELOW, LATH, PAPER AND SCREED. CEMENT PLASTER SHALL BE IN ACCORDANCE WITH ASTM C926. CEMENT MATERIALS SHALL BE IN ACCORDANCE WITH ONE OF THE FOLLOWING:

- 1.MASONRY CEMENT CONFORMING TO ASTM C91 TYPE M, S OR N.
- 2.PORTLAND CEMENT CONFORMING TO ASTM C150 TYPE I, II OR III.
- 3.BLENDED HYDRAULIC CEMENT CONFORMING TO ASTM C595 TYPE IP, IS(S<70), IL OR IT(S<70).
- 4.HYDRAULIC CEMENT CONFORMING TO ASTM C1157 TYPE GU, HE, MS, HS OR MH.
- 5.PLASTER (STUCCO) CEMENT CONFORMING TO ASTM C1328.

THE PROPORTION OF AGGREGATE TO CEMENTITIOUS MATERIALS SHALL BE AS SET FORTH IN TABLE R702.1(3).

R703.7.2.1 WEEP SCREEDS.
A MINIMUM 0.019-INCH (0.5 MM) (NO. 26 GALVANIZED SHEET GAGE), CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 31/2 INCHES (89 MM) SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS IN ACCORDANCE WITH ASTM C926. THE WEEP SCREED SHALL BE PLACED NOT LESS THAN 4 INCHES (102 MM) ABOVE THE EARTH OR 2 INCHES (51 MM) ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.

Hillsborough County
Natural Resources
APPROVED SITE PLAN
Natural Resources Single Family/Duplex
Expires: 4/7/2025
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NEW RESIDENCE

BUILDING ELEVATIONS

PROJECT:

CONTENT:

REV	DATE
1	10/05/2021

OWNER:
ADDRESS 6429 MARBELLA BLVD
APOLLO BEACH, FL 33572

PLANS COMPLY WITH THE
FLORIDA BUILDING CODE 7TH
EDITION (2020)- RESIDENCE

Date: 08/03/2021

Scale: AS NOTED

Drawn: D.O

Job: --

Sheet: A-6.1
6.1 of 8

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BUILDING ELEVATIONS

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Date: 08/03/2021

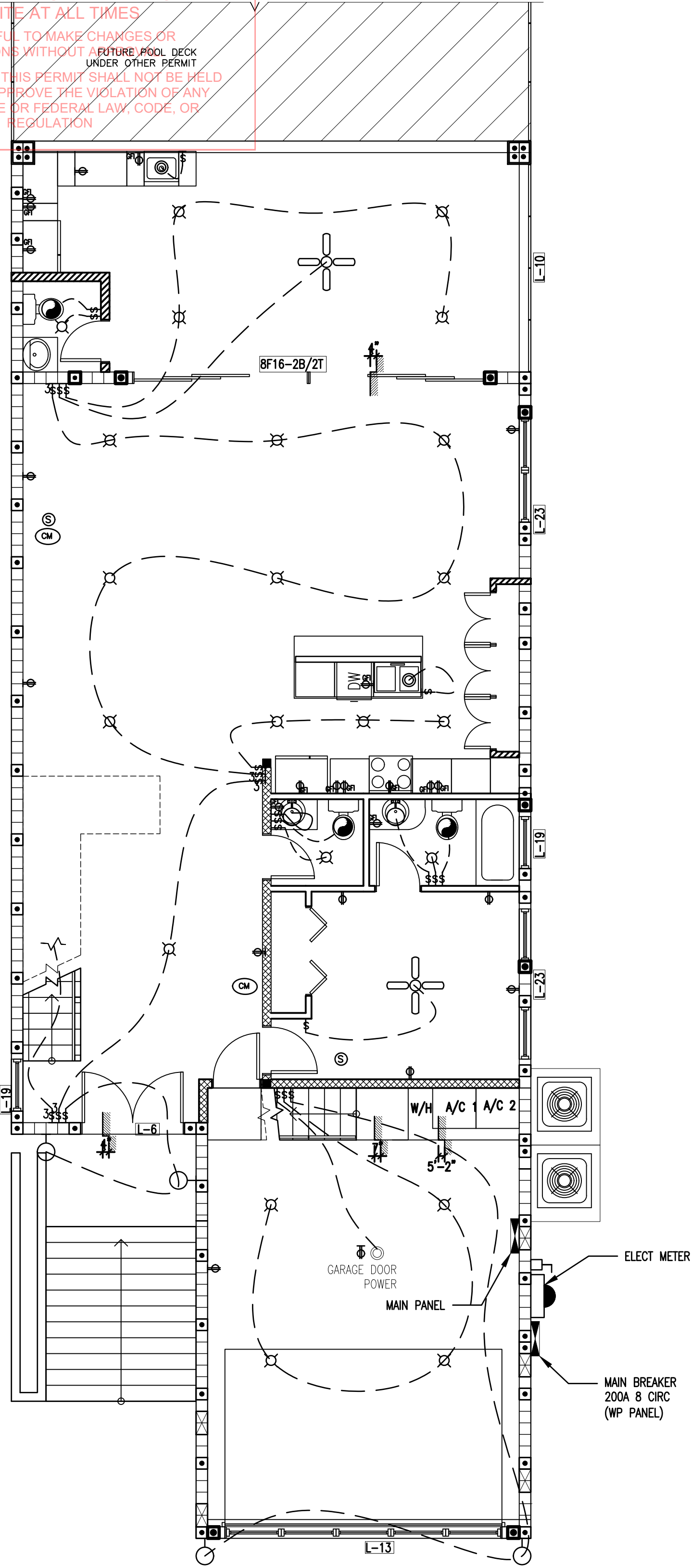
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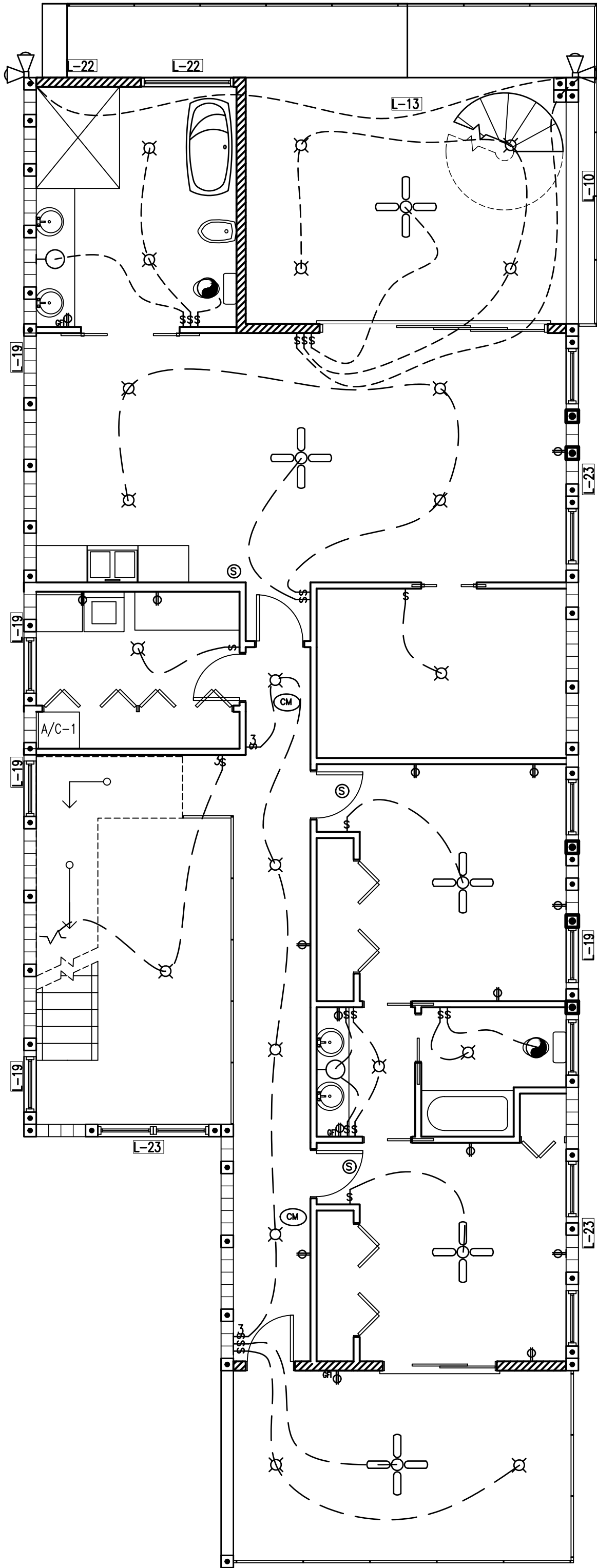
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HILLSBOROUGH COUNTY
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APPROVED
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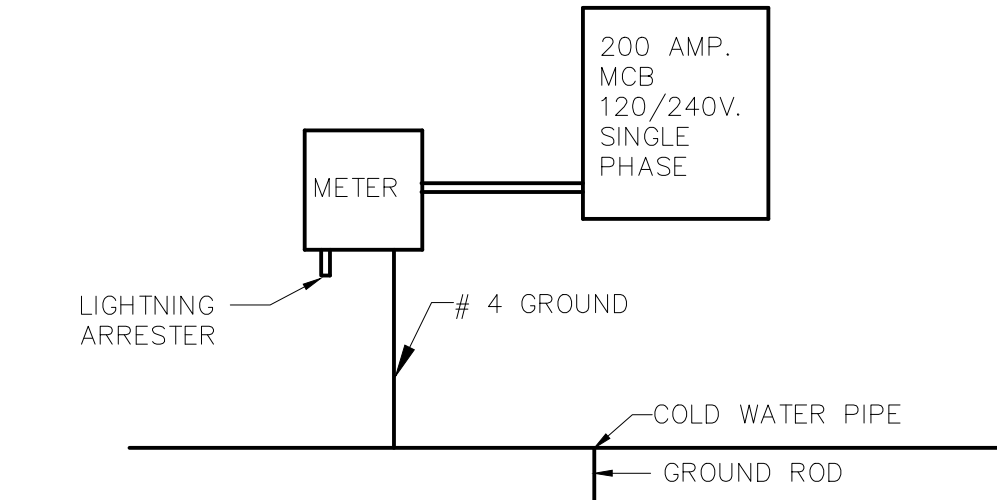
FIRST FLOOR ELECTRIC PLAN
1/4"=1'-0"

PLANS RELEASED FOR CONSTRUCTION
HC-BLD-21-0022816
5/11/2022
Hillsborough County
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SECOND FLOOR ELECTRIC PLAN
1/4"=1'-0"

Hillsborough County
Natural Resources
APPROVED SITE PLAN
Natural Resources Single Family/Duplex
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ELECTRICAL RISER DIAGRAM
N.T.S.

ELECTRICAL KEY

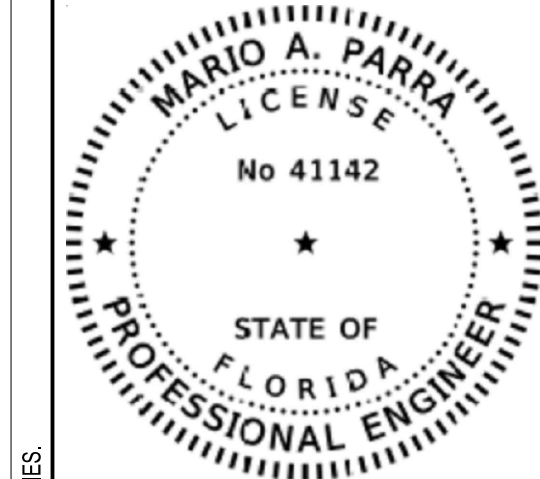
- CEILING MOUNTED LED CAN LIGHT FIXTURE
- DUPLEX CONVENIENCE OUTLET
- WEATHERPROOF DUPLEX OUTLET
- GROUND FAULT INTERRUPTER DUPLEX OUTLET
- 220 VOLT OUTLET
- WALL SWITCH (DIMMERS AS SELECTED BY OWNER)
- THREE-WAY SWITCH
- WALL MOUNTED INCANDESCENT LIGHT FIXTURE
- CEILING MOUNTED INCANDESCENT RECESSED LIGHT FIXTURE
- EXHAUST FAN
- SMOKE DETECTOR
- TELEPHONE
- FLOURESCENT LIGHT
- GARBAGE DISPOSAL
- FLOOD LIGHT
- CONDUIT AND WIRES, CONCEALED IN CEILING OR WALL.
- CHIMES
- CARBON MONOXIDE DETECTOR
- CARBON MONOXIDE & SMOKE DETECTOR COMBO
- WEATHERPROOF LIGHT

NOTE:
LIGHTS, OUTLETS, SWITCHES & ELECTRICAL ACESORIES TO BE APPROVED BY OWNER BEFORE ORDERING.
PROVIDE J. BOX FOR FAN AT ALL BEDROOM WITH SEPARATE SWITCH FOR FAN ANS LIGHT.

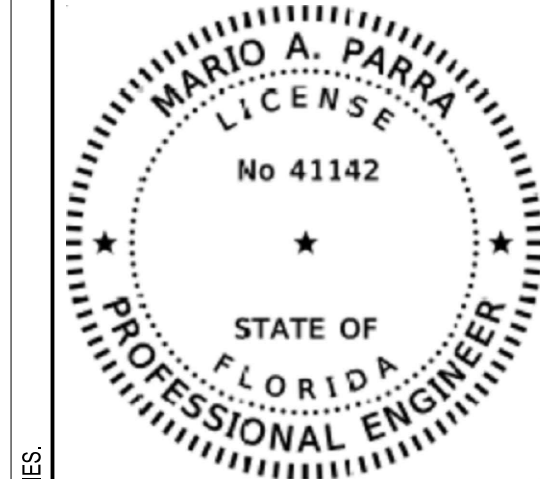
ELECTRICAL NOTES

- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFFA) AND MEETING THE REQUIRMENTS OF FLORIDA STATE STATUE (i.e.: LITHIUM BATTERY OPERATED SMOKE ALARMS) 553.883 BATTERY -POWERED SMOKE ALARMS MUST BE POWERED BY A NONREMOVABLE, NONREPLACEABLE BATTERY THAT POWERS THE ALARM FOR AT LEAST 10 YEARS.
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (G.F.I.) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ALL OUTLETS TO BE ON ARC FAULT CIRCUIT INTERRUPTER.
- UNLESS OTHERWISE INDICATED, INSTALL SWITCHES & RECEPTICALS AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR:
SWITCHES.....42"
OUTLETS.....14"
TELEPHONE.....14"
TELEVISION.....14"
- COORDINATE WITH OWNER FOR TYPE & LOCATION OF CAN LIGHT, FANS DIMMERS, SWITCHES, RECEPTACLES, PHONE LINES, TV CABLE, ETC.
- ELECTRICAL CONTRACTOR SHALL DESIGN, PROVIDE AND INSTALL COMPLETE ELECTRICAL SYSTEM AND RELATED COMPONENTS IN COMPLIANCE WITH N.E.C. AND ALL APPLICABLE LOCAL REGULATIONS.

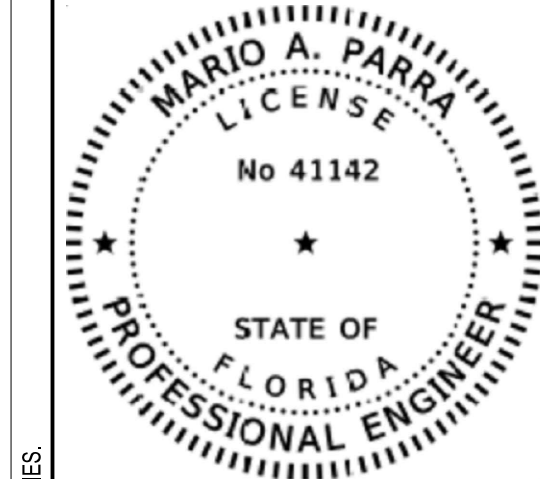
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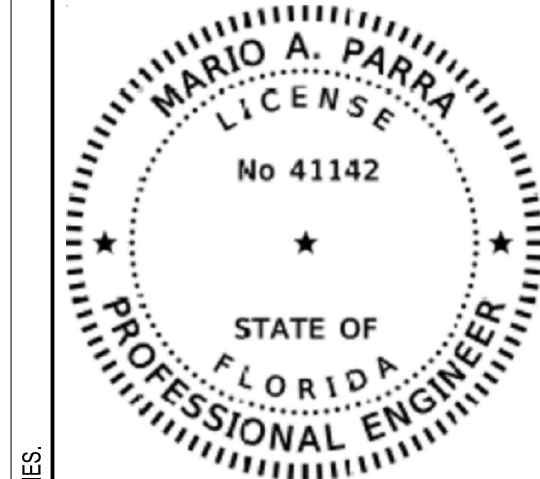
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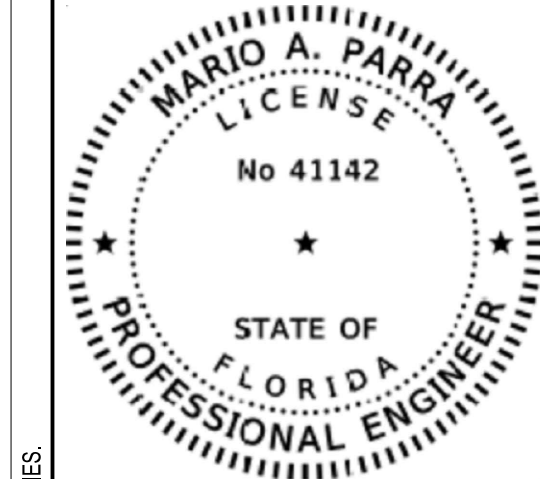
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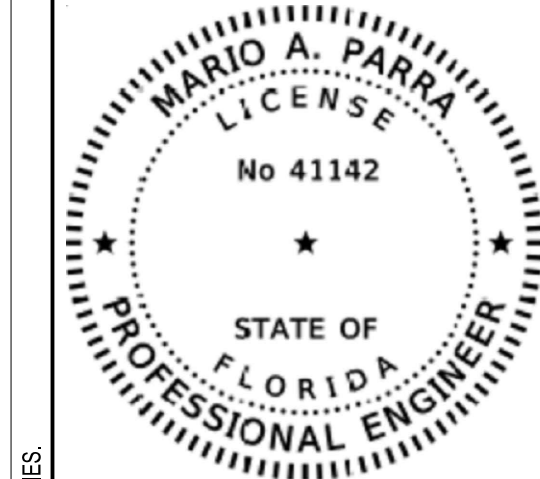
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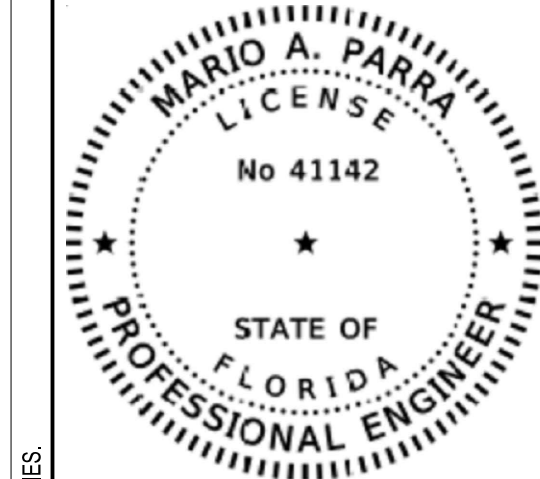
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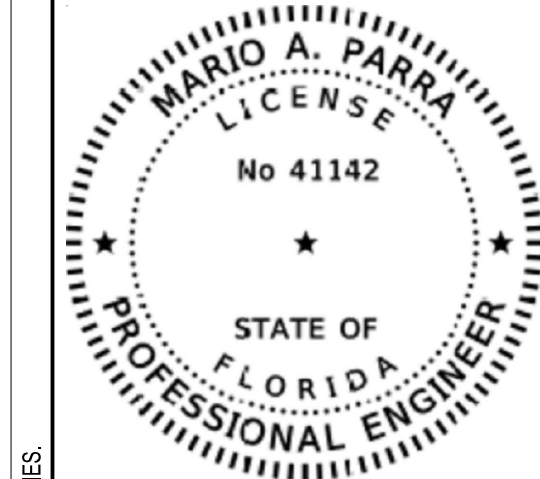
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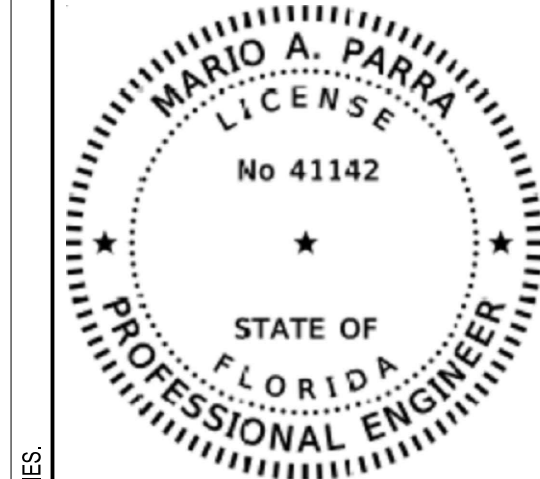
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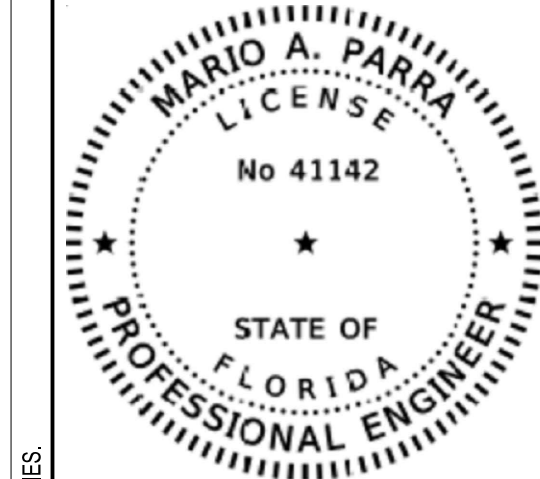
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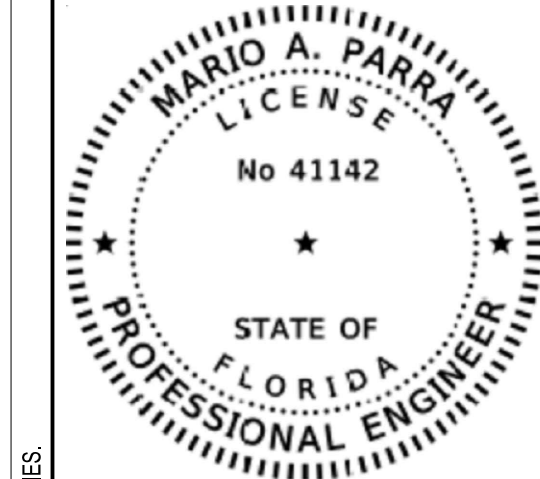
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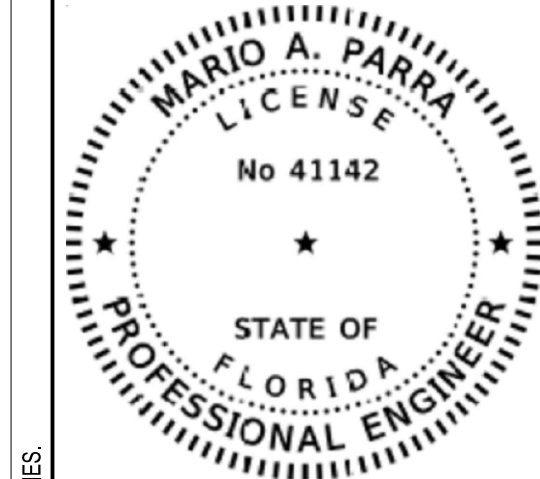
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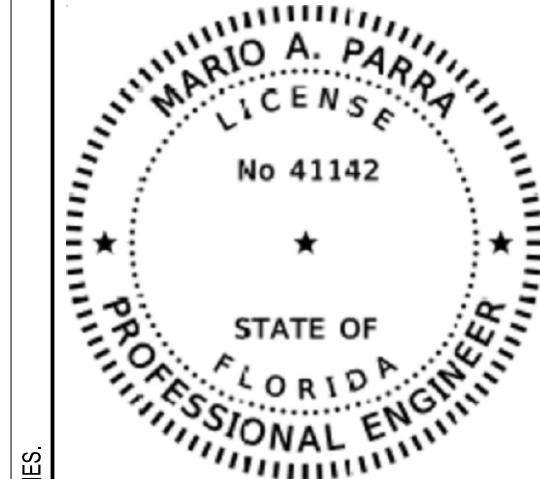
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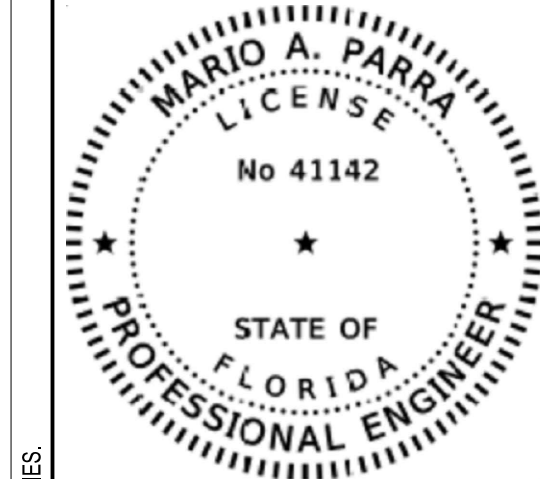
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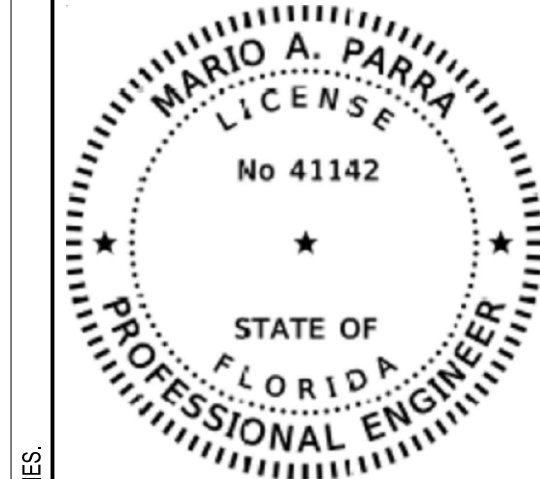
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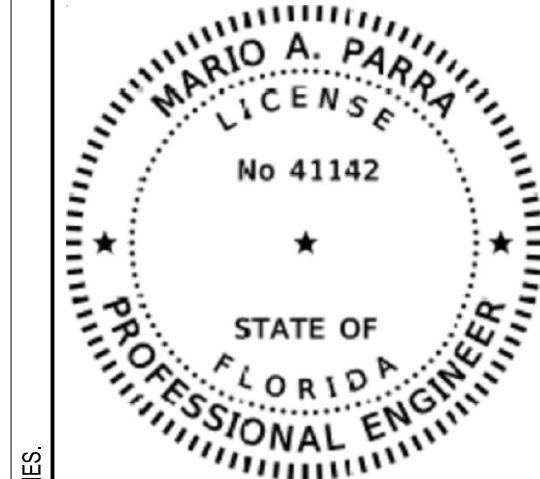
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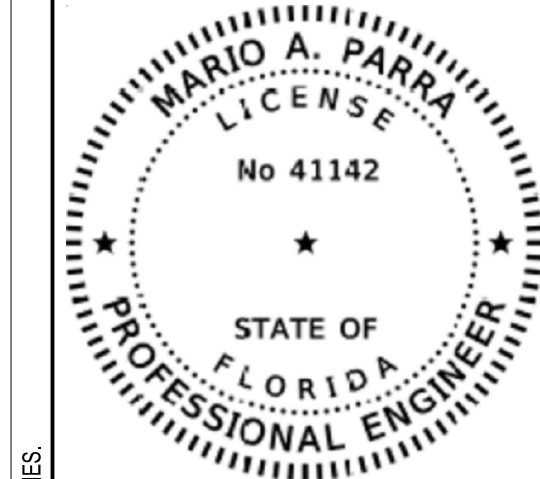
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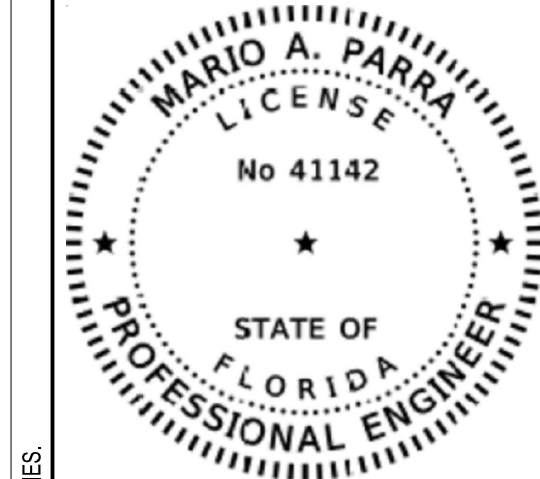
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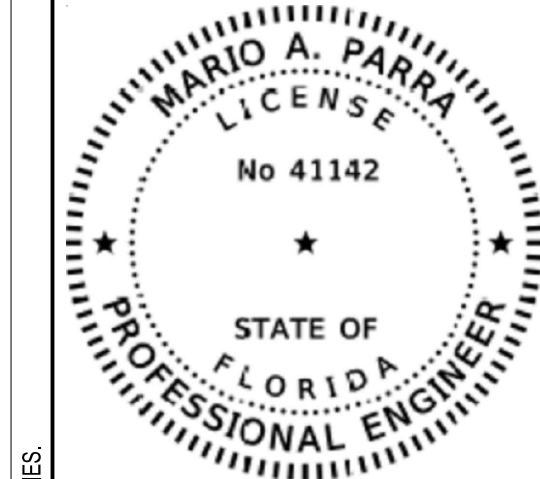
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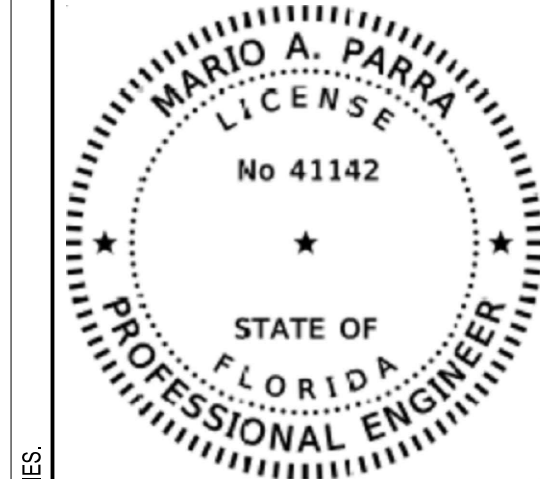
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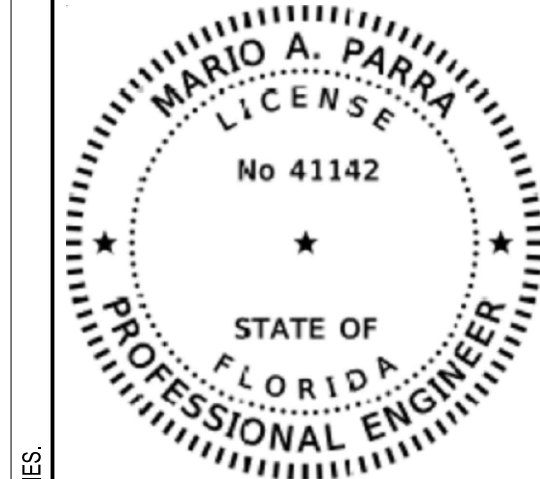
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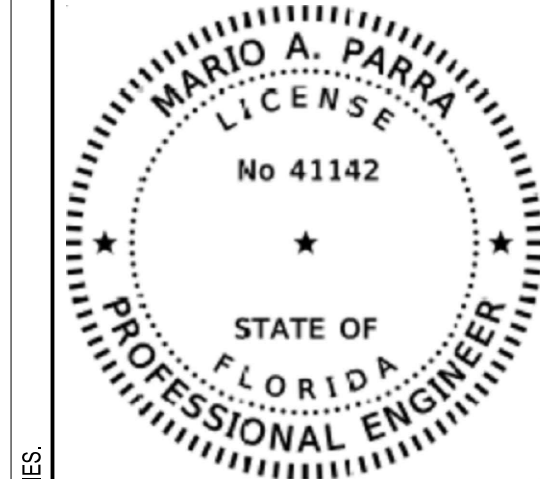
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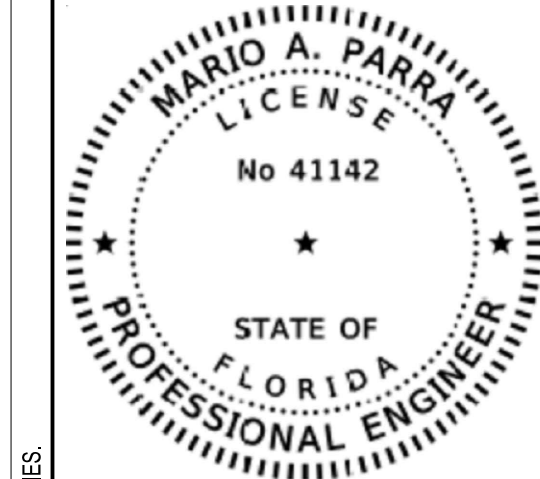
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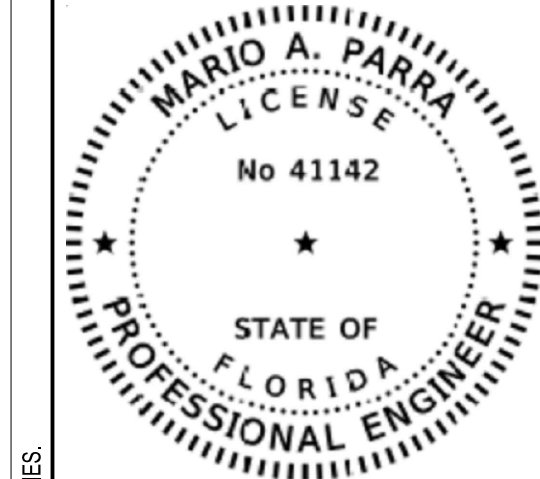
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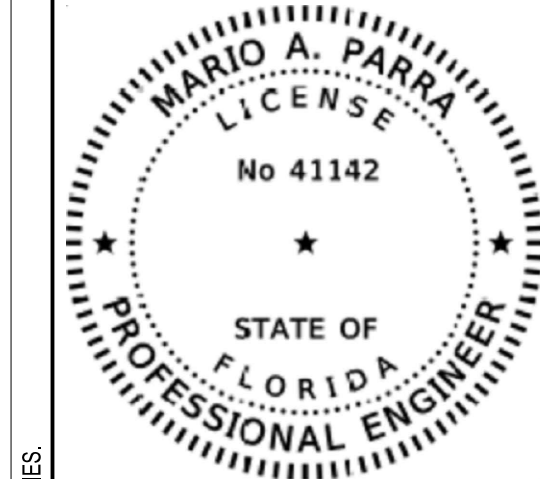
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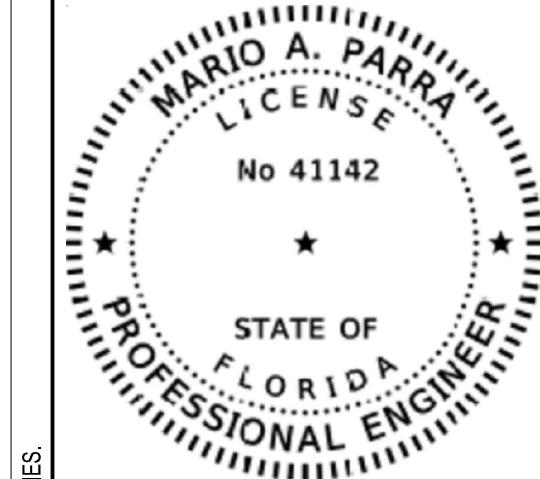
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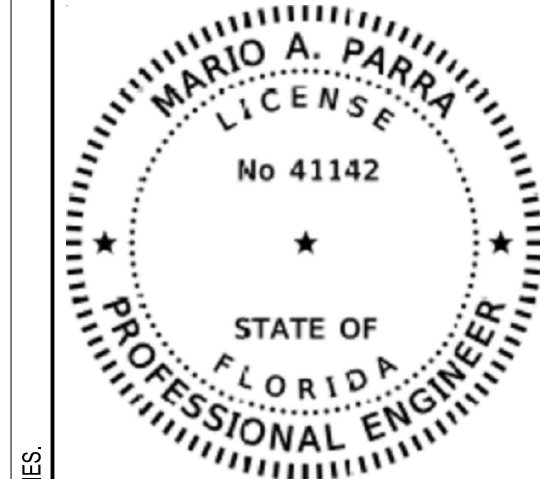
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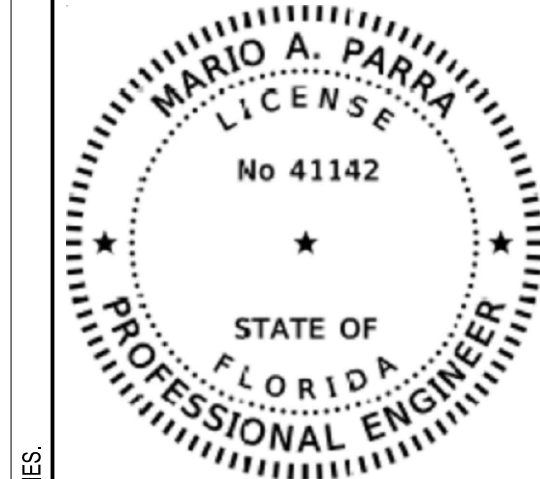
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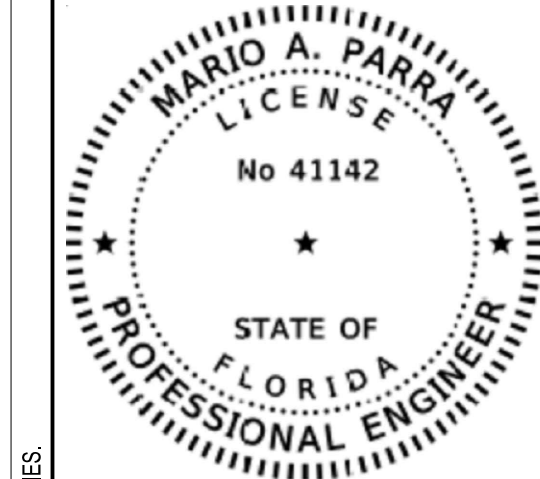
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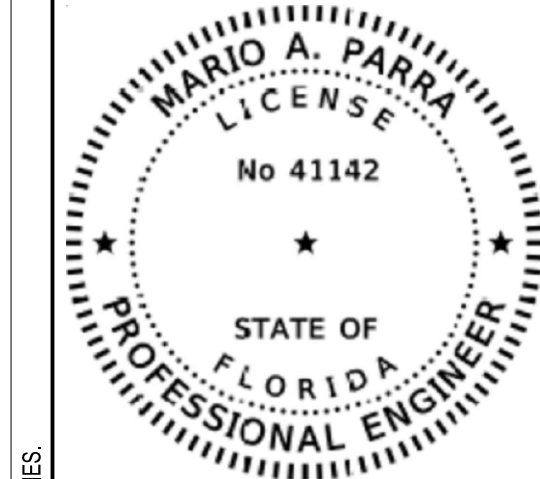
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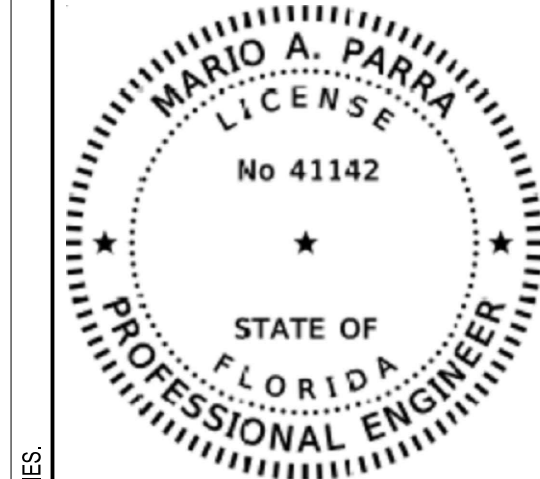
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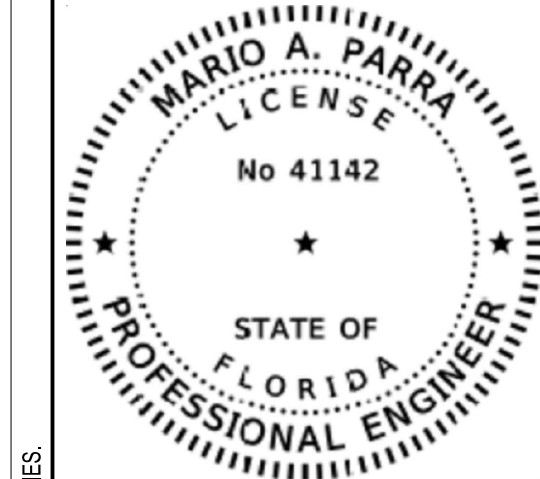
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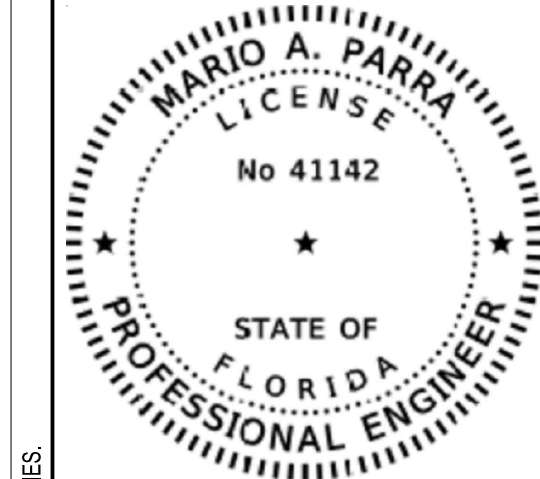
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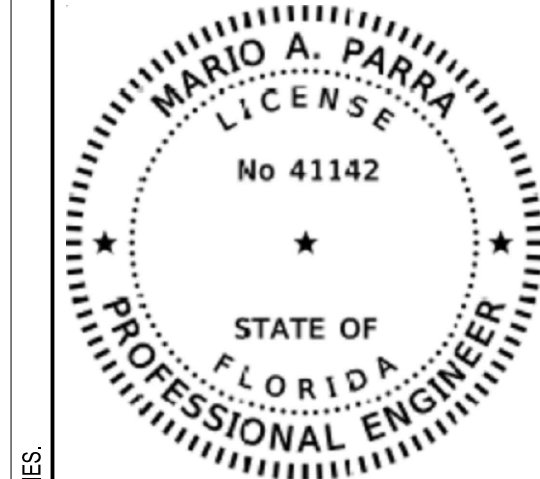
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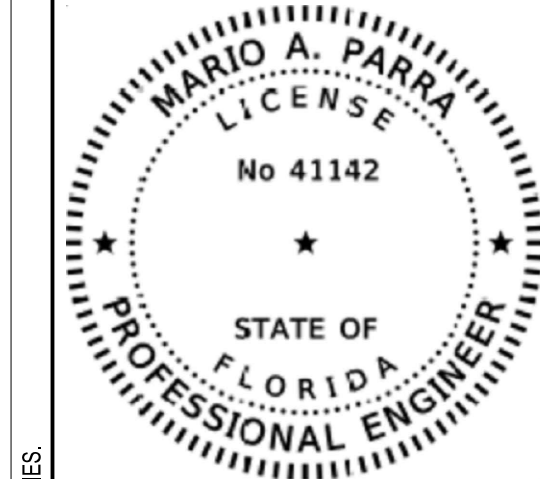
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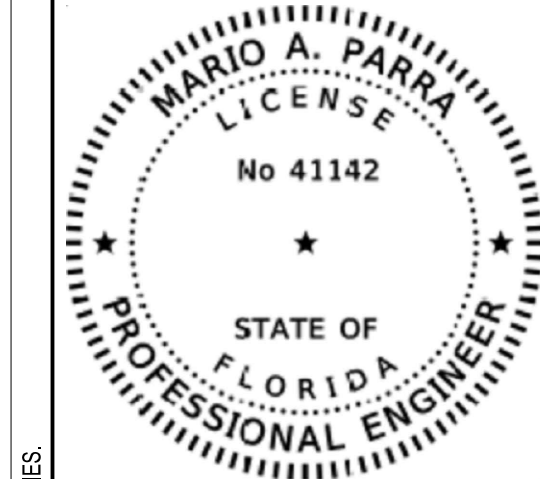
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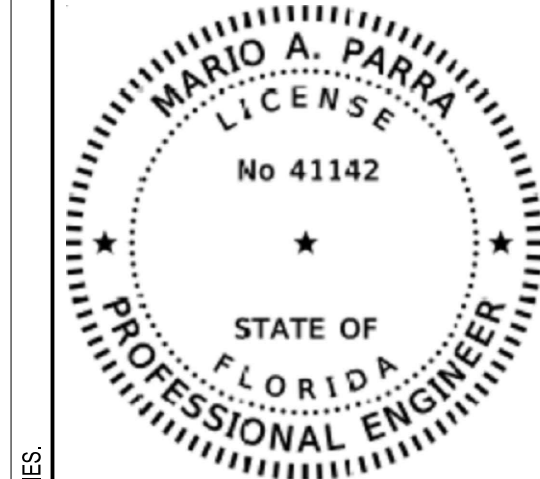
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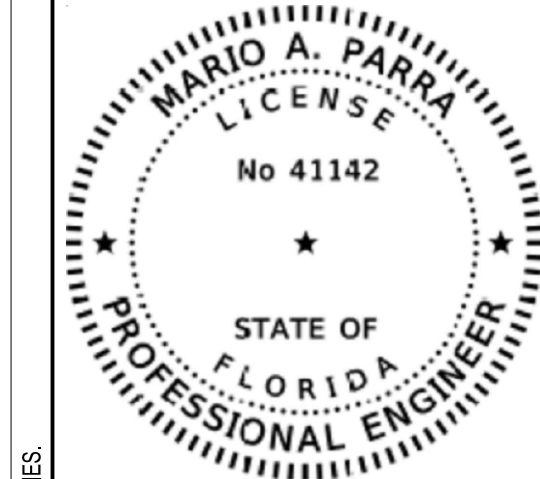
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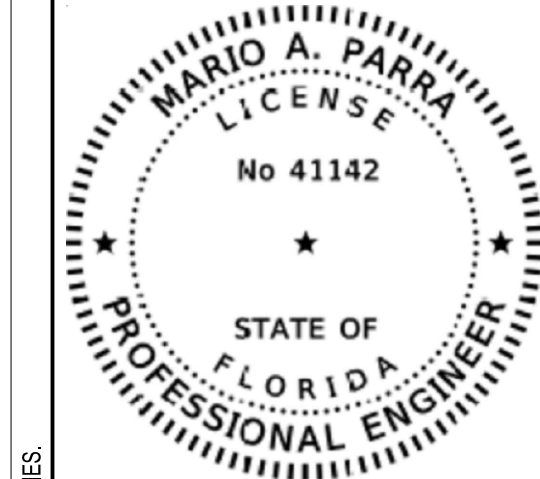
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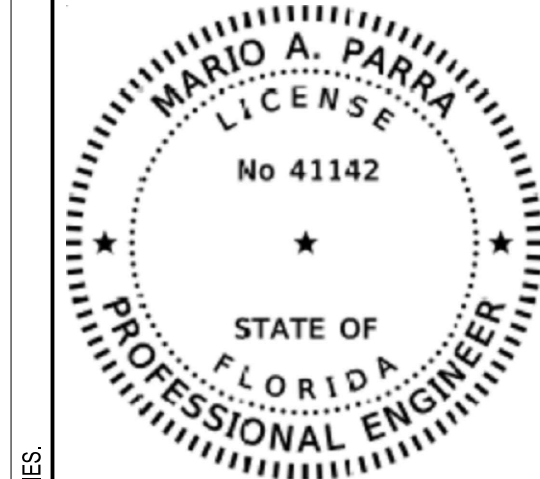
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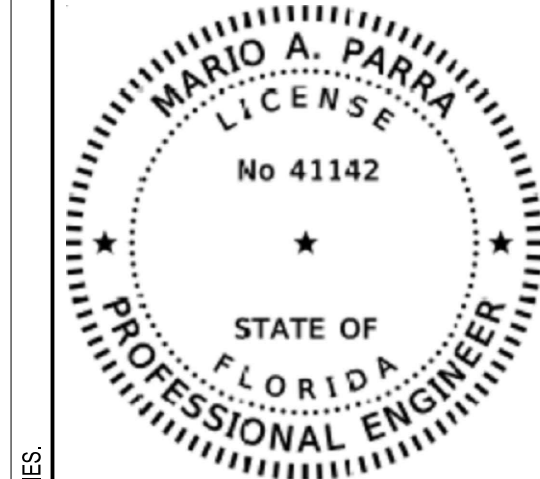
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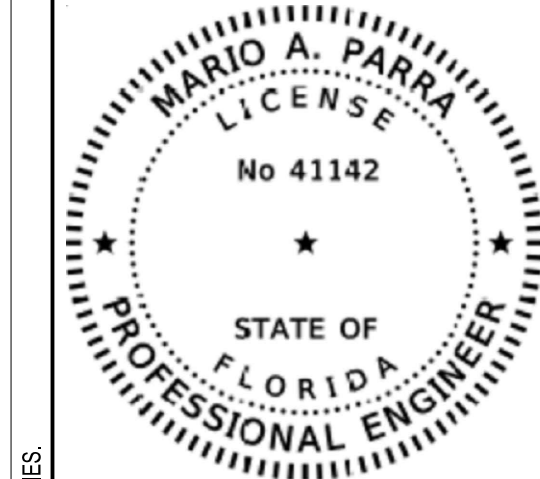
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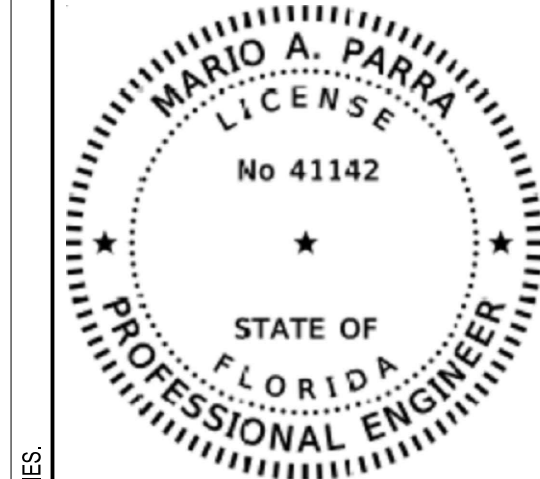
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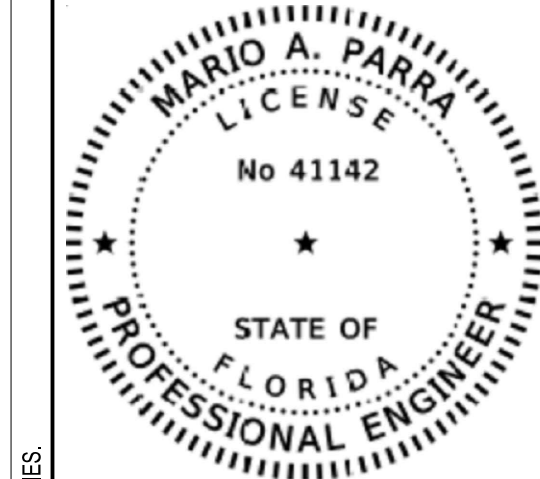
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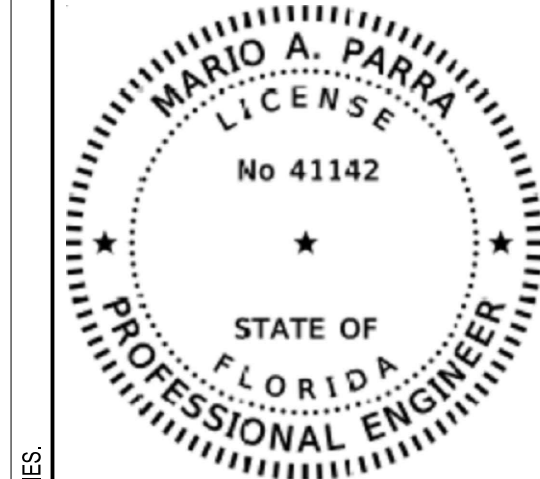
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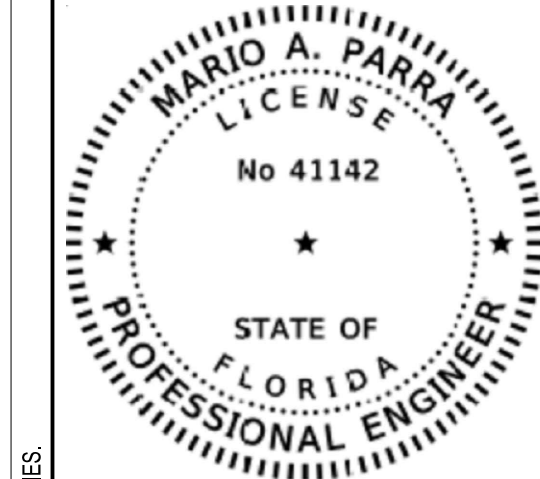
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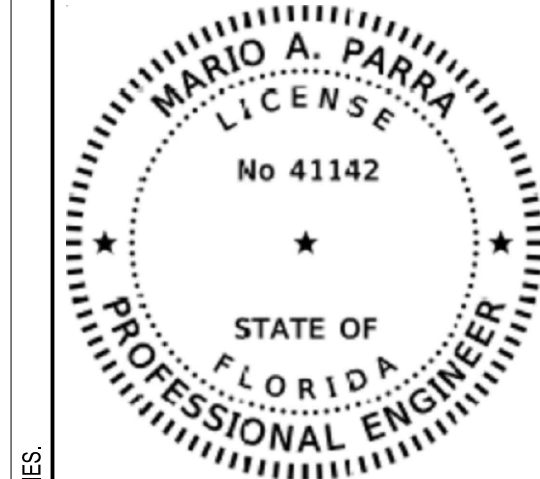
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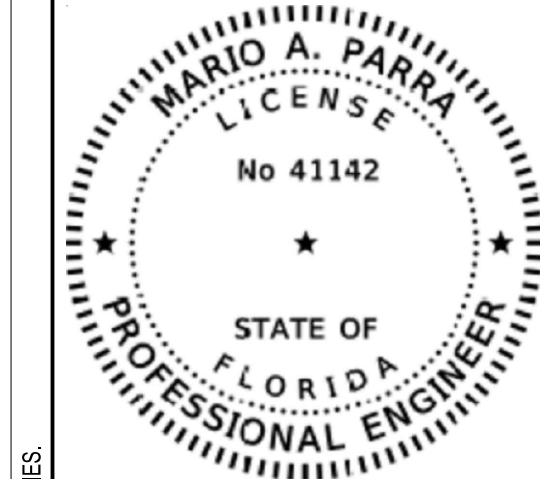
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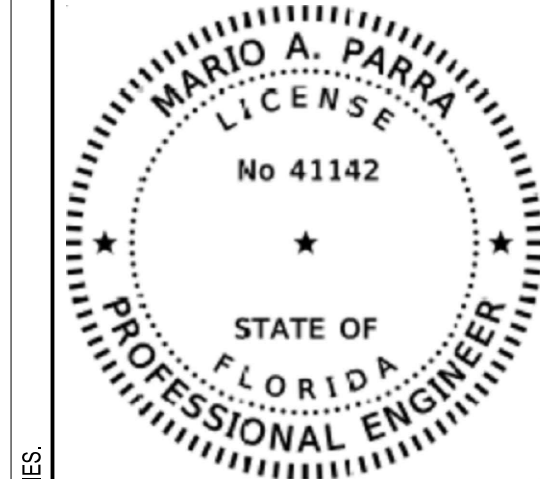
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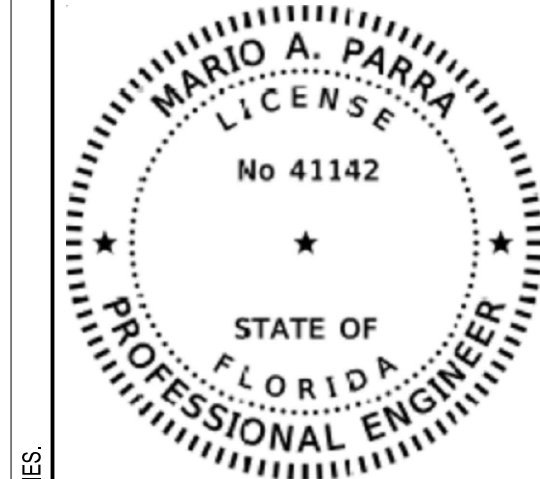
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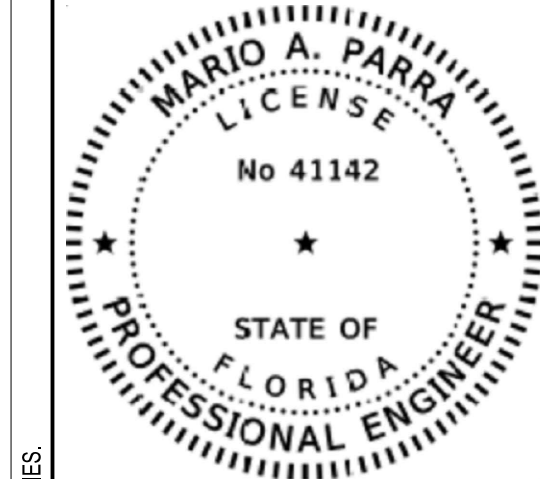
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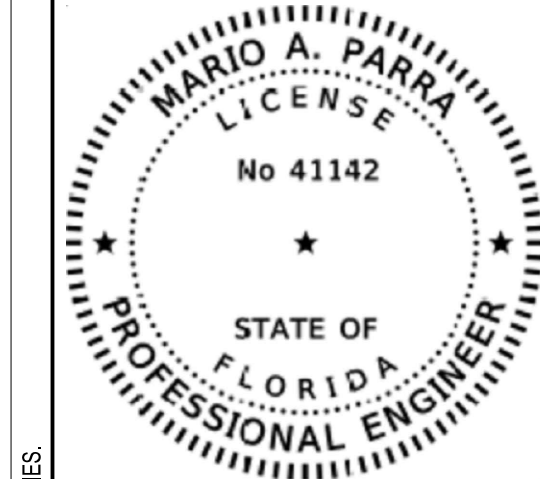
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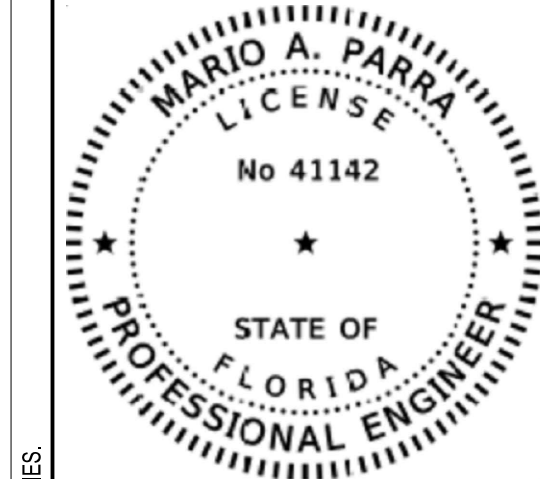
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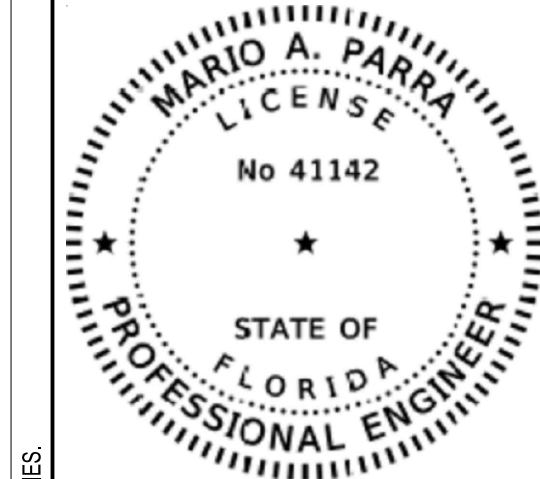
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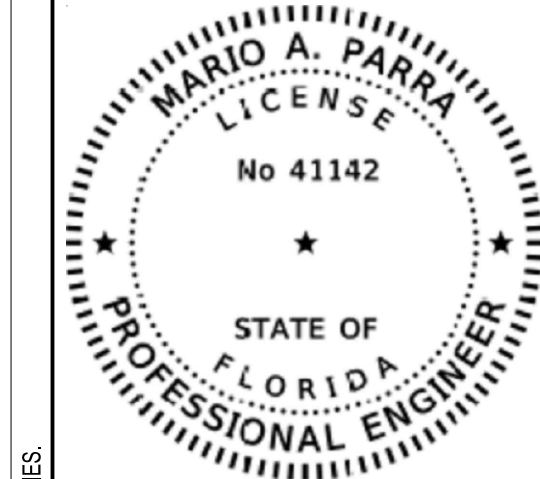
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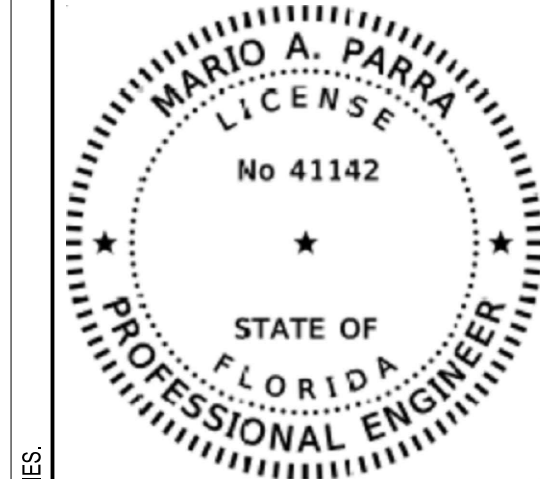
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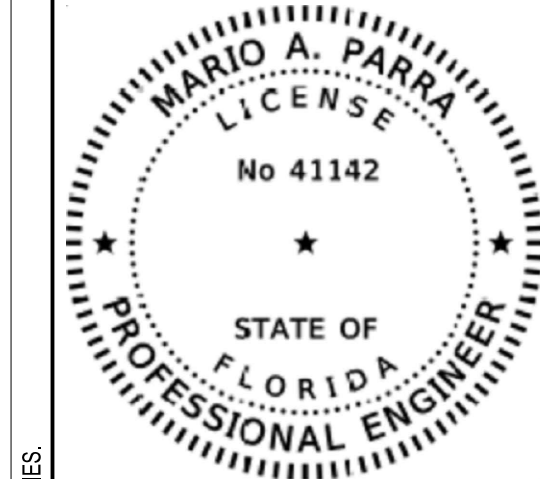
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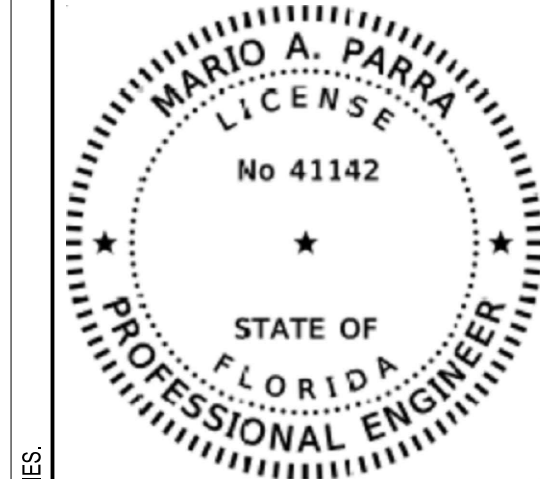
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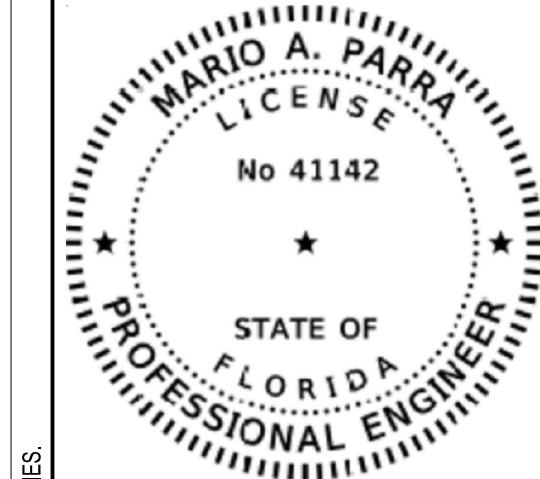
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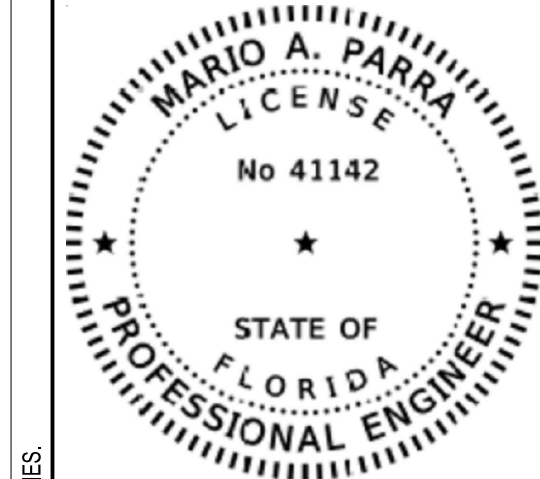
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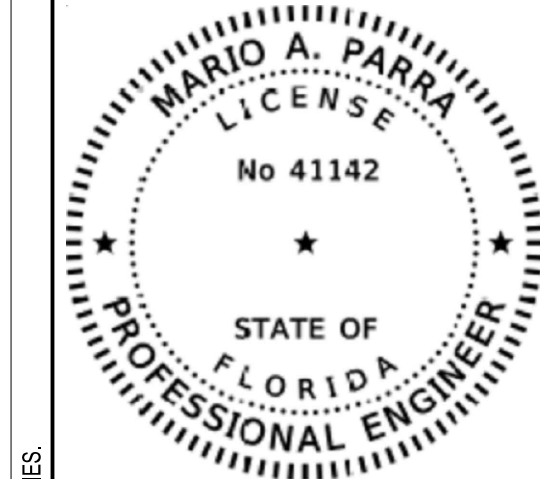
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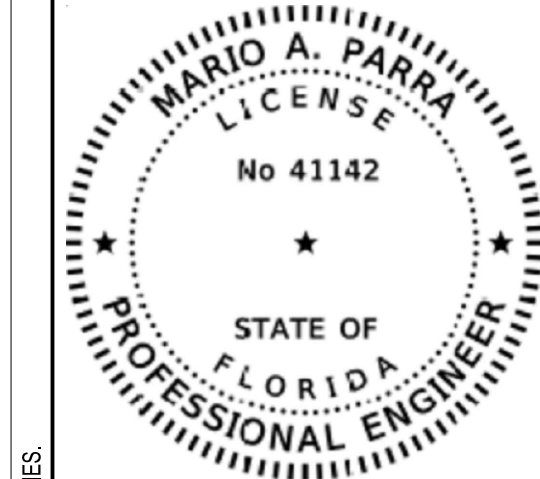
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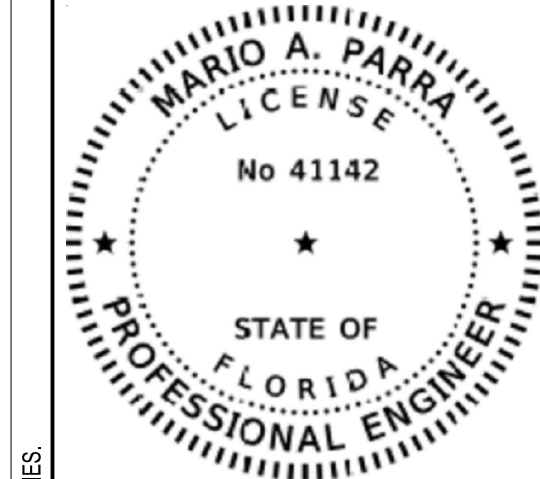
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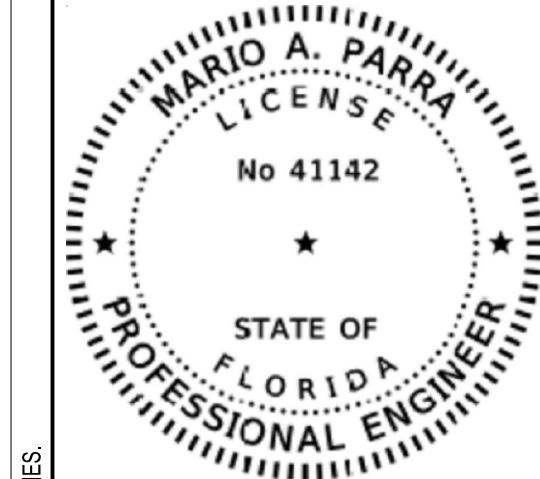
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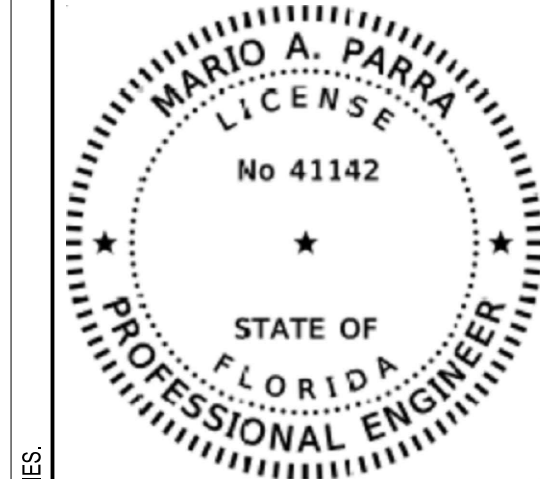
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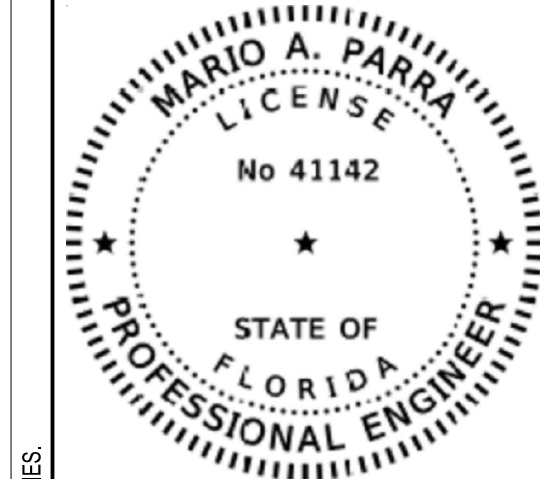
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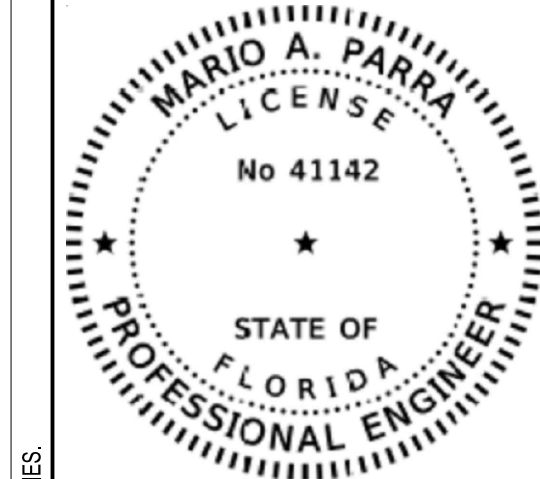
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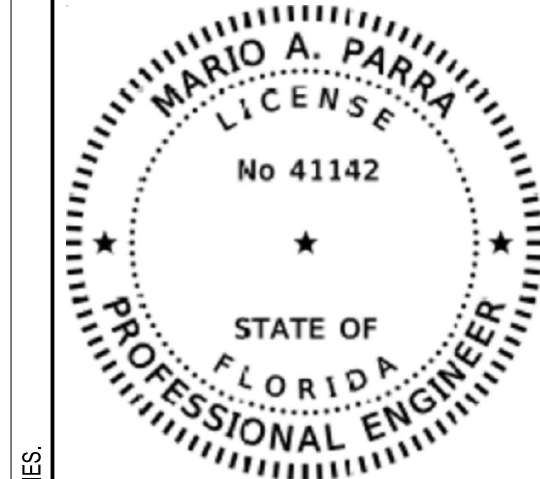
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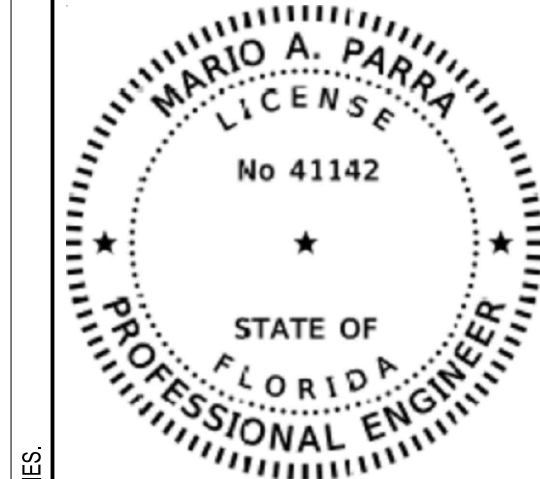
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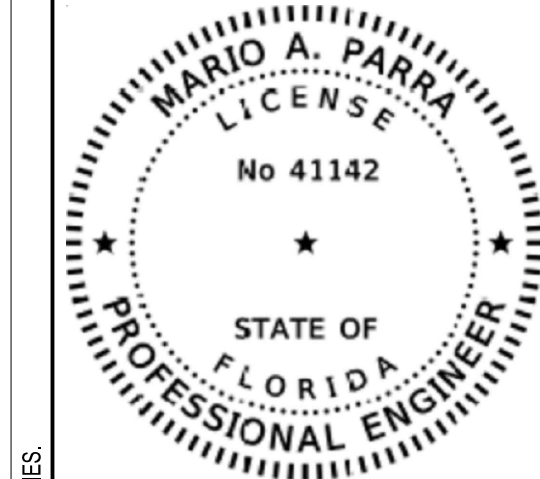
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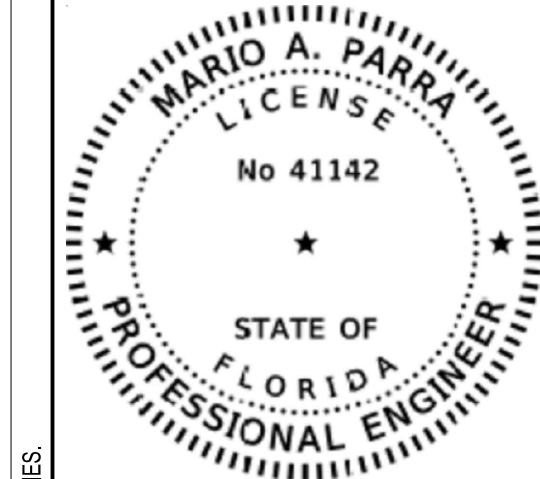
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HILLSBOROUGH COUNTY

PLANS REVIEWED FOR CODE COMPLIANCE

APPROVED

HC-BLD-21-0022816 5/11/2022

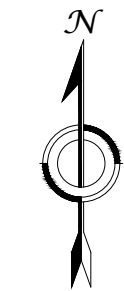
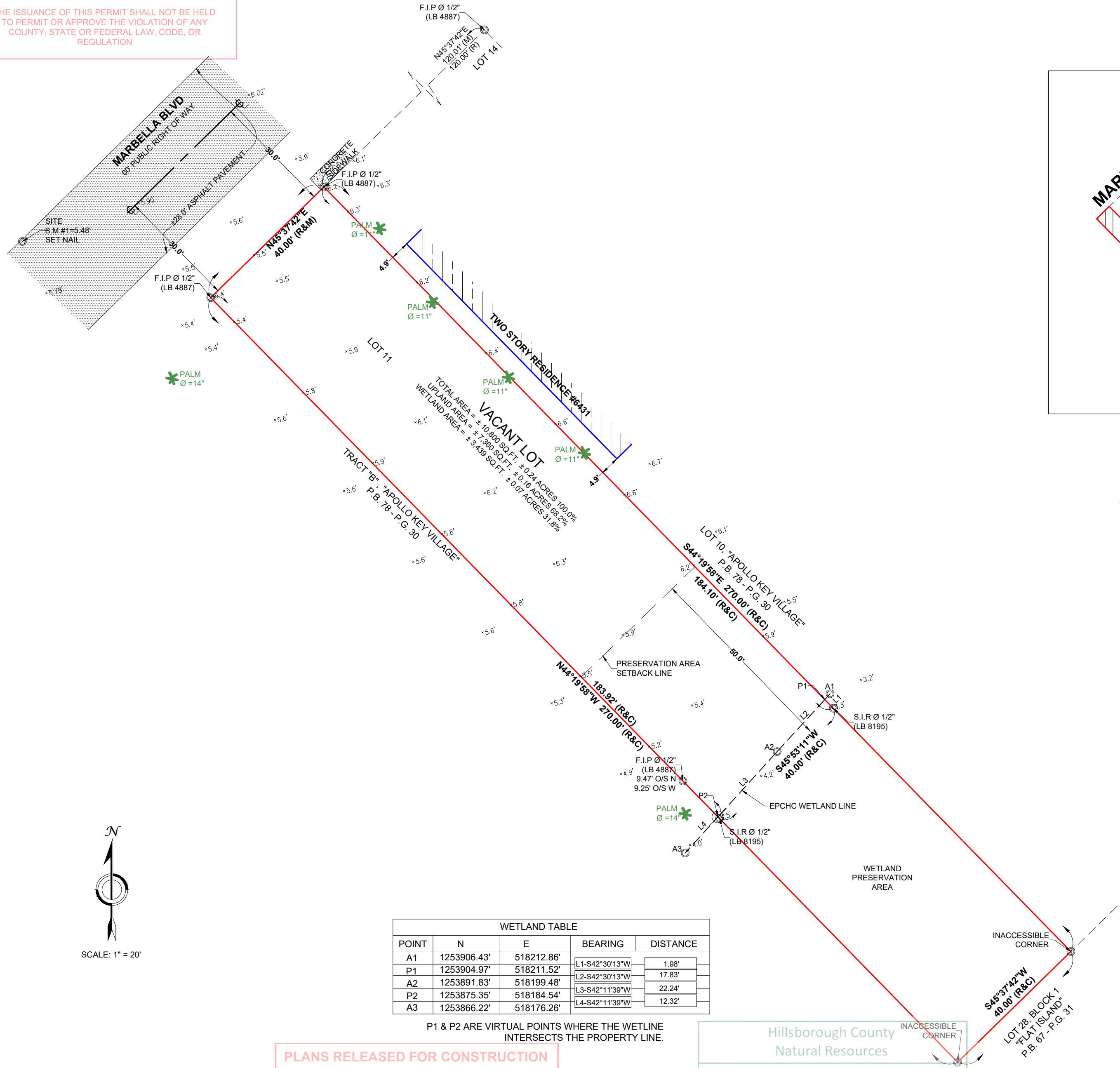
THIS SET OF PLANS MUST BE KEPT ON THE
JOB SITE AT ALL TIMES

IT IS UNLAWFUL TO MAKE CHANGES OR
ALTERATIONS WITHOUT APPROVAL.

THE ISSUANCE OF THIS PERMIT SHALL NOT BE HELD
TO PERMIT OR APPROVE THE VIOLATION OF ANY
COUNTY, STATE OR FEDERAL LAW, CODE, OR
REGULATION

BOUNDARY & TOPOGRAPHIC SURVEY

SECTION 17, TOWNSHIP 31S, RANGE 19E. HILLSBOROUGH COUNTY



SCALE: 1" = 20'

WETLAND TABLE				
POINT	N	E	BEARING	DISTANCE
A1	1253906.43'	518212.86'	L1-S42°30'13"W	1.98'
P1	1253904.97'	518211.52'	L2-S42°30'13"W	17.83'
A2	1253891.83'	518199.48'	L3-S42°11'39"W	22.24'
P2	1253875.35'	518184.54'	L4-S42°11'39"W	12.32'
A3	1253866.22'	518176.26'		

P1 & P2 ARE VIRTUAL POINTS WHERE THE WETLINE
INTERSECTS THE PROPERTY LINE.

PLANS RELEASED FOR CONSTRUCTION

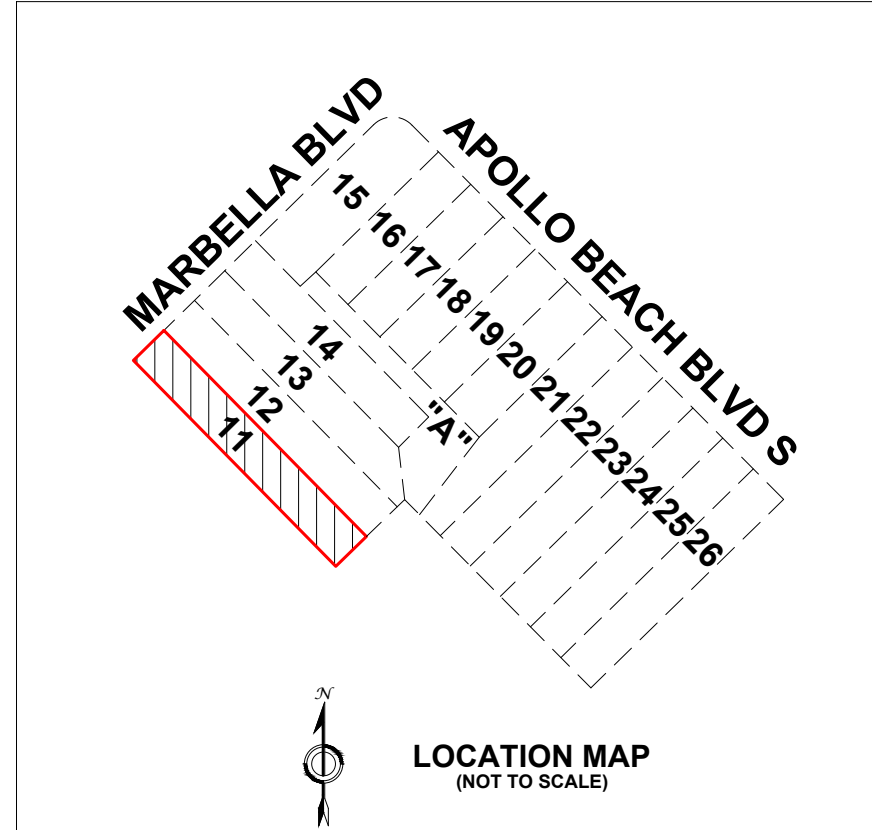
HC-BLD-21-0022816

5/11/2022

**Hillsborough County
Development Services**

Project reviewed for general compliance with standards
applicable to this project. Design has not necessarily been
reviewed or checked regarding specific design elements or
calculations. The engineer of record is fully responsible for
the final decision, signed and sealed plans and documents.

Hillsborough County
Natural Resources
APPROVED SITE PLAN
Natural Resources Single Family/Duplex
Expires: 4/7/2025
Any deviations from the approved plans will
require a revision to this permit.



THIS SURVEY APPEARS TO ACCURATELY DEPICT
THE LIMITS OF WETLANDS AND OTHER SURFACE
WATERS DELINEATED IN ACCORDANCE WITH
CHAPTER 62, 64, F.A.C. BY EPC STAFF
SIGNATURE [Signature] DATE 12/30/2021
EXPIRATION DATE: 12/30/2026

ABBREVIATIONS

BC=BLOCK CORNER
(C)=CALCULATED
(M)=MEASURED
(R)=RECORD
(P)=PRORATED
TYP.= TYPICAL
P.B. = PLAT BOOK
P.G. = PAGE
F.I.R. = FOUND IRON ROD
F.I.P. = FOUND IRON PIPE
S.I.R. = SET IRON ROD
I.D. = IDENTIFICATION
F/C = FENCE CORNER
B.M. = BENCHMARK

LEGEND

○ CENTER LINE
○ PROPERTY CORNER
P PROPERTY LINE
✱ PALM & TRUNK TREE
✱ CANOPY & TRUNK TREE
✱ PINE & TRUNK TREE
Ⓢ MANHOLE (SANITARY SEWER)
+17.6' GROUND ELEVATION
+16.3' PAVEMENT ELEVATION
☐ CATCH BASIN
☐ UTILITY POLE
☐ METER (WATER)
☐ A/C UNIT

PROPERTY ADDRESS:
6429 MARBELLA BLVD,
APOLLO BEACH, FL 33572
(FOLIO NO. 052089-0822)

DESCRIPTION:
LOT 11, "APOLLO KEY VILLAGE", ACCORDING TO
THE PLAT THEREOF AS RECORDED IN PLAT
BOOK 78, PAGE(S) 30, OF THE PUBLIC
RECORDS OF HILLSBOROUGH COUNTY, FLORIDA.

FLOOD ZONE INFORMATION:
COMMUNITY: HILLSBOROUGH COUNTY - 120112
MAP/PANEL NO. 12057C0491H
SUFFIX: H
FIRM DATE: 08/28/2008
FLOOD ZONE: AE + 11'

THERE MAY BE LEGAL RESTRICTIONS ON THE
SUBJECT PROPERTY THAT ARE NOT SHOWN ON
THE MAP OF SURVEY THAT MAY BE FOUND IN THE
PUBLIC RECORDS OF HILLSBOROUGH COUNTY, OR
THE RECORDS OF ANY OTHER PUBLIC AND
PRIVATE ENTITIES AS THEIR JURISDICTIONS MAY
APPEAR.

THE MAP OF SURVEY IS INTENDED TO BE
DISPLAYED AT THE STATED GRAPHIC SCALE IN
ENGLISH UNITS OF MEASUREMENT. ATTENTION IS
BROUGHT TO THE FACT THAT SAID DRAWING MAY
BE ALTERED IN SCALE BY THE REPRODUCTION
PROCESS

THIS SURVEY WAS CONDUCTED FOR THE
PURPOSE OF A TOPOGRAPHIC SURVEY ONLY AND
IS NOT INTENDED TO DELINEATE THE
REGULATORY JURISDICTION OF ANY FEDERAL,
STATE, REGIONAL OR LOCAL AGENCY BOARD,
COMMISSION OR OTHER ENTITY.

THE ELEVATIONS OF WELL-IDENTIFIED FEATURES
AS DEPICTED ON THIS SURVEY AND MAP WERE
MEASURED TO AN ESTIMATED VERTICAL
POSITIONAL ACCURACY OF 1/10 FOOT FOR
NATURAL GROUND SURFACES AND 1/100 FOOT
FOR HARDSCAPE SURFACES, INCLUDING
PAVEMENTS, CURBS AND OTHER MAN-MADE
FEATURES AS MAY EXIST.

BENCH MARK: GPS-NAIL ELEVATION: 5.48 FEET
(NAVD88)

LEGAL DESCRIPTION WAS FURNISHED BY THE
CLIENT.

WELL-IDENTIFIED FEATURES AS DEPICTED ON
THIS SURVEY AND MAP WERE MEASURED TO AN
ESTIMATED HORIZONTAL POSITIONAL ACCURACY
OF 1/10 FOOT UNLESS OTHERWISE SHOWN.

BEARINGS AS SHOWN HEREON ARE BASED UPON
AN ASSUMED VALUE OF N45°37'42"E FOR THE
SOUTH RIGHT-OF-WAY LINE OF MARBELLA BLVD
AS DEPICTED ON THE MAP OF SURVEY.

LEGAL DESCRIPTION SUBJECT TO ANY
DEDICATIONS, LIMITATIONS, RESTRICTIONS,
RESERVATIONS OR RECORDED EASEMENTS.

THE SURVEYOR MAKES NO REPRESENTATION AS
TO OWNERSHIP, POSSESSION OR OCCUPATION OF
THE SUBJECT PROPERTY BY ANY ENTITY OR
INDIVIDUAL.

SUBSURFACE IMPROVEMENTS AND/OR
ENCROACHMENTS WITHIN, UPON, ACROSS,
ABUTTING OR ADJACENT TO THE SUBJECT
PROPERTY WERE NOT LOCATED AND ARE NOT
SHOWN.

NOT VALID WITHOUT THE SIGNATURE AND
ORIGINAL RAISED SEAL OF A FLORIDA LICENSED
SURVEYOR AND MAPPER. ADDITIONS AND
DELETIONS TO THIS MAP OF SURVEY BY OTHER
THAN THE SIGNING PARTY ARE PROHIBITED
WITHOUT THE WRITTEN CONSENT OF THE SIGNING
PARTY.

THIS MAP OF SURVEY HAS BEEN PREPARED FOR
THE EXCLUSIVE USE OF THE ENTITIES NAMED
HEREIN AND THE CERTIFICATION DOES NOT
EXTEND TO ANY UNNAMED PARTY.

NO TREES FOUND 20' AWAY FROM PROPERTY
UNLESS DEPICTED ON THIS MAP.

CERTIFY TO:

**DELVIS O ORTIZ
CASTELLANO NELSON**

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY: THAT THIS "TOPOGRAPHIC
SURVEY" AND THE MAP OF SURVEY RESULTING
THERE FROM WAS PERFORMED UNDER MY
DIRECTION AND IS TRUE AND CORRECT TO THE
BEST OF MY KNOWLEDGE AND BELIEF AND
FURTHER, THAT SAID "TOPOGRAPHIC SURVEY"
MEETS THE INTENT OF THE "MINIMUM TECHNICAL
STANDARDS FOR LAND SURVEYING IN THE STATE
OF FLORIDA", PURSUANT TO RULE 5J-17 OF THE
FLORIDA ADMINISTRATIVE CODE AND ITS
IMPLEMENTING RULE, CHAPTER 472.027 OF THE
FLORIDA STATUTES.



PROFESSIONAL
SURVEYOR AND MAPPER
PHONE: (813) 423-3483
FAX: (813) 398-0111
www.gpsflorida.net

ORIGINAL
FIELD DATE
REVISIONS:
WETLAND UPDATE
11-17-2021

JOB NO. 21-3076
DRAWN VJZ

SHEET
1/1

Digitally signed by Julio C Rodriguez
DN: c=US, o=Unaffiliated,
ou=A01410C00000175DDC09CC300003D8
B, cn=Julio C Rodriguez
'Date: 2021.11.17 14:36:25 -05'00



THIS ITEM HAS BEEN ELECTRONICALLY
SIGNED AND SEALED BY JULIO C.
RODRIGUEZ (P.S.) USING A DIGITAL
SIGNATURE AND DATE.
PRINTED COPIES OF THIS DOCUMENT
ARE NOT CONSIDERED SIGNED AND
SEALED AND THE SIGNATURE MUST BE
VERIFIED ON ANY ELECTRONIC COPIES.